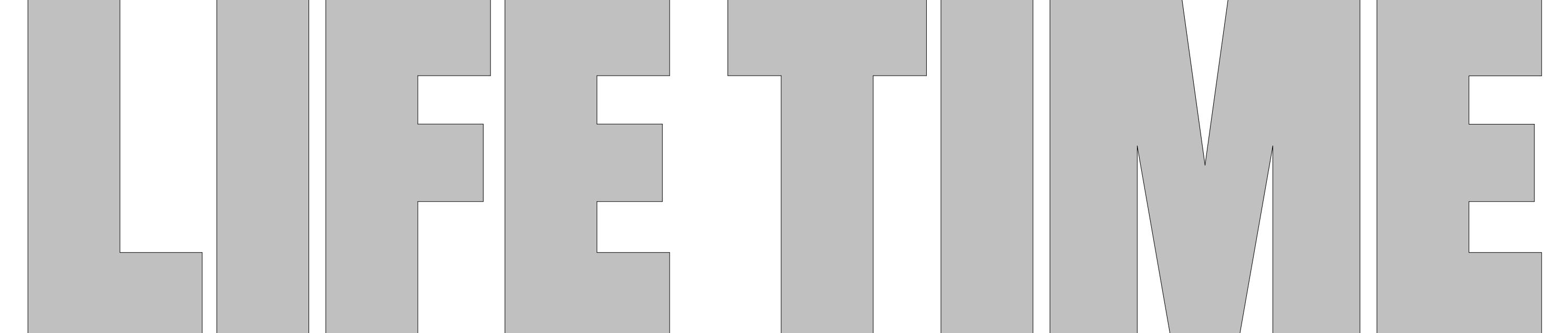




DEFERRED SUBMITTALS	
DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.	
<ul style="list-style-type: none"> FIRE ALARM SYSTEM NFPA 72 WITH VOICE EVACUATION SYSTEM FIRE SPRINKLER SYSTEM PER NFPA 13 WATERSLIDES ALL HANDRAILS / GUARDRAILS CURTAIN WALLS STEEL STAIRS POST TENSION SLABS ON GRADE EXTERIOR COLD-FORMED FRAMING INTERIOR COLD-FORMED FRAMING ANSUL SYSTEM (HOOD AND DUCT EXTINGUISHING SYSTEM) SEISMIC BRACING FOR ARCHITECTURAL AND MEP COMPONENTS SEISMIC ANCHORAGE OF RTUS AND OTHER EQUIPMENT 	
SPECIAL INSPECTIONS & TESTING	
SEE SHEET S002 AND SPEC SECTION 01 45 33 FOR REQUIRED SPECIAL INSPECTIONS AND TESTING	

ABBREVIATIONS

AB	ANCHOR BOLT	LAM	LAMINATE
A/C	AIR CONDITIONING	LAV	LAVATORY
ACCL	ACCOUSTIC	LB, LBS	POUNDS (WEIGHT)
ACST	ACOUSTIC	LOC	LOCATION, LOCATE
ACT	ACOUSTICAL CEILING TILE		
ACS PNL	ACCESS PANEL		
ADJ	ADJUSTABLE		
ADU	AUTOMATIC, EXTERNAL DEFIBRILLATOR	MAS	MASONRY
AFF	ABOVE FINISHED FLOOR	MATL	MATERIAL
AFU	AIR FILTERING UNIT	MAX	MAXIMUM
ALT	ALTERNATE / ALTERNATIVE	MECH	MECHANICAL
ALUM	ALUMINUM	MFB	MFB
ANOD	ANODIZED	MEZZ	MEZZANINE
APPROX	APPROXIMATE	MFG	MANUFACTURING
ARCH	ARCHITECTURAL	MFR	MANUFACTURER
AWC	ACOUSTICAL WALL COVERING	MISC	MISCELLANEOUS
BDM	BOARD	MO	MASONRY OPENING
BLTUM	BITUMINOUS	MTD	MOUNTED
BLDG	BUILDING	MTL	MULLION
BM BRG	BEAM BEARING	MULL	MULLION
BRG	BEARING		
BRG	BACK OF HOUSE	NA	NOT APPLICABLE
BRG	BEARING	NIC	NOT IN CONTRACT
BW	BOTH WAYS	NOM	NOMINAL
CAP	CAPACITY	OD	OVER
CG	CARPET BASE	OCC	OCNTR OCCUPANCY / OCCUPANTS
CHNG	CHANGING	OD	OUTSIDE DIAMETER
CIF	CUT IN FIELD	OH	OVERHEAD
CJ	CONTROL JOINT	OPNG	OPENING
CL	CEMENT LINE	OPP	OPPOSITE
CLG	CEILING		
CLR	CLEAR		
CEM BD	CEMENT BOARD	PCC	PRECAST CONCRETE
CO	COASED OPENING	PIV	POINTER/PISTON ACTUATED FASTENER
COL	COLUMN(S)	PERIM	PERIMETER
CONF	CONFINEMENT	PERM	PERMEABLE
CONST	CONSTRUCTION	PIV	PIVOT/PISTON LINE, PLATE
CONST JT	CONSTRUCTION JOINT	PLAS	PLASTER
CONT	CONTINUOUS	PLYWD	PLYWOOD
CTR	CONTRACTOR	PR	PIR NORTH
COORD	COORDINATION / COORDINATE	PR	PAIR
CORR	CORRIDOR	PREFINISHED	
CPT	CARPET	PRKG	PARKING
CTR	CENTER	PROP	PROPERTY
CT	CERAMIC TILE	PRV	POWER ROOF VENTILATOR,
CTB	CERAMIC TILE BASE		PRESSURE RELIEF VALVE
CUH	CABINET UNIT HEATER	PSF	POUNDS PER SQUARE FOOT
CS	CORRUGATED STEEL	PSI	POUNDS PER SQUARE INCH
CSNK	CASEWORK	PT	PAINT
DEMO	DENOLISH, DEMOLITION	PTN	PARTITION
DET	DETAIL	PVC	POLYVINYL CHLORIDE
DF	DRINKING FOUNTAIN	QT	QUARRY TILE
DIAG	DIAGONAL	QTB	QUARRY TILE BASE
DIA	DIAMETER	R	RADIUS
DM	DIMENSION	RB	RUBBER BASE
DISP	DISPENSER	RD	ROOF DRAIN
DIV	DIVISION	REF	REFERENCE
DN	DOWN	REFG	REFRIGERATION
DOOR	DOOR	REFR	REFRIGERATOR
DS	DOWNSPOUT	REINF	REINFORCED
DWG	DRAWING	REQD	REQUIRED
EA	EACH	RM	ROOM
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	RO	ROUGH OPENING
EJ	EJ ELEVATION	ROW	RIGHT OF WAY
EL	ELEVATOR	RPN	RESIN PANEL
ELEC	ELECTRICAL	RTU	ROOF TOP UNIT
ELEV	ELEVATOR	RVS	REVERSE
ENCL	ENCLOSURE	S	SEALER
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHL	SCHLUTER
EAS	EASTING	SD	SEWER DRAIN
EW	EACH WAY	SCHED	SCHEDULE
EWC	ELECTRIC WATER COOLER	SCONC	SEALED CONCRETE
EXH FN	EXHAUST FAN	SECT	SECTION
EXP	EXPAND	SHP	SQUARE FEET
EXP BT	EXPANSION BOLT	SHR	SHOWER
EXPO	EXISTING	SIM	SIMILAR
EXIST	EXTERIOR	SMP	SUMP PUMP
FA	FIRE ALARM	SPEC	SPECIFICATION(S)
FD	FLOOR DRAIN	SQ	SQUARE
FDTN	FOUNDATION	SDY	SOLID DRY YARD
FE	FE FIRE EXTINGUISHER	SST	STAINLESS STEEL
FF EL	FINISHED FLOOR ELEVATION	ST	STONE TILE
FIN	FINISHED	STD	STONE TILE BASE
FIXT	FIXTURE	STL	STANDARD
FLR	FLOOR	STL JST	STEEL JOIST
FLUR	FLUR	STN	STONE, STONE SLAB
FRP PNL	FLUORESCENT REINFORCED PLASTIC PANEL	STN	STONE, STONE SLAB
FRT	FIRE RETARDANT TREATED	STRM	STRUCTURE
FT	FEET OR FOOT	STRUCT	STRUCTURAL
FTG	FOOTING	SUSP	SUSPENDED
FURN	FURNITURE	SW	SWITCH
GA	GAGE	SYMM	SYMMETRICAL
GALV	GALVANIZED	T	TREAD
GB	GRAB BAR	T&B	TOP AND BOTTOM
GC	GENERAL CONTRACTOR	T&G	TONGUE AND GROOVE
GFCI	GROUNDED FAULT CIRCUIT INTERRUPTER	TELE	TELEPHONE
GRFG	GLASS FIBER REINFORCED GYPSUM	THICK	THICKNESS
GL BLK	GLASS BLOCK	TMPC	TEMPERED
GLZ	GLASS GLAZING	TOP	TOP
GR	GRADE, GRADING	TOP CONCRETE	TOP OF CONCRETE
GYP BD	GYPSUM BOARD	TOP F	TOP OF FOOTING
HB	HOSE BIBB	TOP M	TOP OF MASONRY
HDR	HEADER	TOS	TOP OF STEEL
HDW	HARDWARE	TOP T	TOP OF WALL
HT	HEIGHT	TOPO	TOPOGRAPHY
HM	HOLLOW METAL	TOP	TOPICAL
HOM/PC	HIGH PERFORMANCE COATING, HIGH PERFORMANCE COMPOUND	V	VINYL
HR	HEATING, VENTILATION & AIR CONDITIONING	VCT	VINYL COMPOSITION TILE
HW	HOT WATER	VERT	VERTICAL
HYD	HYDRANT	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	VR	VAPOR RETARDER
INCHES	INCHES	VTR	VENT THROUGH ROOF
INSUL	INSULATION	VWC	VINYL WALLCOVERING
INT	INTERIOR	W	WITH
INT FIN	INTERIOR FINISH SYSTEM	WBL	WOOD BLOCKING
JAN	JANITOR	WDW	WINDOW
JST	JOIST	WH	WATER HEATER
JST BRG	JOIST BEARING	W/O	WITHOUT
JT	JOINT	WT	WEIGHT
KIT	KITCHEN	WPC	WALL PANEL
KO	KNOCK OUT	WVN	WOOD VENEER
		WWR	WELDED WIRE REINFORCEMENT
		W/	WITHOUT
		AND	AND
		@	AT
		±	PLUS OR MINUS



BLD 2022-01610 GRADING



DRAWING INDEX

SHEET INDEX - GRADING	
Sheet Number	Sheet Name
GENERAL	
[G001-GR] TITLE SHEET - GRADING	
CIVIL - GRADING	
C1 TITLE SHEET	
C2 NOTES AND QUANTITIES	
C3 EROSION & SEDIMENT CONTROL PLAN	
C4 HORIZONTAL CONTROL PLAN	
C5 PREPARE GRADING PLAN	
C6 SITE SECTION	
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C13 CONDITIONS OF APPROVAL	
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C15 CONDITIONS OF APPROVAL	
C16 CONDITIONS OF APPROVAL	
C17 CONDITIONS OF APPROVAL	
C18 CUT-FILL EARTHWORK EXHIBIT	

Brea, CA

1600 Brea Mall Road, Brea, CA 92821

DRAWING LOG

REV	DATE	DESCRIPTION
A1B	01/24/2024	Addendum 1 - AHJ

CONFIDENTIALITY NOTICE
BY ACCEPTING THIS MATERIAL, THE RECIPIENT ACKNOWLEDGES AND AGREES THAT THE INFORMATION CONTAINED HEREIN IS CONFIDENTIAL AND SHALL NOT BE DISCLOSED, DISTRIBUTED, OR OTHERWISE MADE AVAILABLE TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF LIFE TIME, INC., OR ITS SUBSIDIARIES. LIFE TIME, INC. RESERVES THE RIGHT TO REVOKE THIS AGREEMENT AT ANY TIME. THE RECIPIENT AGREES TO DEFEND AND INDEMNIFY LT FROM ANY DAMAGES OR LOSSES ARISING OUT OF THE UNAUTHORIZED USE OR DISCLOSURE OF THE INFORMATION.

PROFESSIONAL OF RECORD
I HEREBY CERTIFY THAT THIS PLAN OR CATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT IS A DUE AND FAIR PROJECT UNDER THE LAWS OF THE STATE OF: NAME: MATTHEW J. BRINZA REG. NO. 33436 EXP DATE: 07/31/2025 ARCHITECT'S STAMP

LICENSED ARCHITECT
MATTHEW J. BRINZA
33436
RENEWAL DATE
7/31/2024
STATE OF CALIFORNIA

JURISDICTIONAL APPROVAL STAMPS

JURISDICTIONAL STAMP
ISSUE DATE: 01/24/24
SHEET NO. G001-GR
PUBLICATIONS ISSUED FOR PERMIT

THE PROJECT DESCRIBED BY THE CONSTRUCTION DOCUMENTS CONSISTS OF THE FOLLOWING:
84,766 SF OF NEW CONSTRUCTION ON TWO FLOORS WILL INCLUDE THE FOLLOWING AMENITIES: LIFE CAFE, FITNESS EQUIPMENT AREAS, GROUP FITNESS STUDIOS, LIFE SPA/SALON, STEAM / SAUNAS, MENS AND WOMENS LOCKER ROOMS, STAFF OFFICES AND SUPPORT AREAS. MATERIALS UTILIZED IN THIS NEW CONSTRUCTION WILL BE PRIMARILY STEEL FRAMING, EIFS, LIMESTONE, INTERIOR PARTITIONS AND A VARIETY OF FLOOR FINISHES OVER CONCRETE SUBFLOORS. EXTERIOR AMENITIES INCLUDE: OUTDOOR LAP / LEISURE POOL

LEGAL DESCRIPTION

BASED UPON COMMITMENT FOR TITLE INSURANCE NO. NCS-890061-1-MPLS, DATED MARCH 18, 2022, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY.

The Land referred to herein below is situated in the City of Brea, County of Orange, State of California, and is described as follows:

LEASE PARCEL:

THAT PORTION OF PARCEL 2 OF PARCEL MAP NO. 87-382, IN THE CITY OF BREA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 256, PAGES 35 THROUGH 39, INCLUSIVE, TOGETHER WITH A PORTION OF PARCEL 3 OF PARCEL MAP NO. 13-77, AS PER MAP FILED IN BOOK 139, PAGES 12 THROUGH 16, INCLUSIVE, BOTH OF PARCEL MAPS, RECORDS OF SAID COUNTY, DESCRIBED IN WHOLE AS FOLLOWS:
BEGINNING AT A POINT IN THE WESTERLY LINE OF SAID PARCEL 2, SAID POINT BEING DISTANT THEREON NORTH 2°45'12" EAST, 49.17 FEET FROM THE SOUTHWEST CORNER OF SAID PARCEL 2;
THENCE ALONG SAID WESTERLY LINE NORTH 2°45'12" EAST, 338.35 FEET;
THENCE NORTH 89°58'4" EAST, 278.78 FEET;
THENCE NORTH 78°55'6" EAST, 12.00 FEET;
THENCE SOUTH 110°54" EAST, 44.63 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE WESTERLY AND HAVING A RADIUS OF 500.00 FEET;
THENCE SOUTHERLY 97.70 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 111°14'3";
THENCE TANGENT FROM SAID CURVE SOUTH 070°49" WEST, 201.59 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 34.50 FEET;
THENCE SOUTHWESTERLY 54.10 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 89°50'57";
THENCE TANGENT FROM SAID CURVE SOUTH 89°57'46" WEST, 263.21 FEET;
THENCE NORTH 02°14" WEST, 9.00 FEET;
THENCE NORTH 43°50'02" WEST, 38.44 FEET TO THE POINT OF BEGINNING.

THIS DESCRIPTION IS NOT TO BE USED FOR INSURANCE PURPOSES NOR IS IT TO BE USED FOR THE PURPOSE OF SALE, LEASE, OR FINANCING THAT MAY BE A VIOLATION OF THE STATE MAP ACT OR LOCAL ORDINANCES. SAID LEGAL DESCRIPTION WILL HAVE TO BE RE-WRITTEN BASED ON ACTUAL LAND SURVEY AND MATHEMATICAL CLOSURE OR/AND APPROVED BY THE LICENSED LAND SURVEYOR.

Easement Parcel:

NON-EXCLUSIVE EASEMENTS AS GRANTED AND LIMITED BY ARTICLE IV OF THE DOCUMENT ENTITLED "OPERATING AGREEMENT" RECORDED SEPTEMBER 1, 1976 IN BOOK 11874, PAGE 973, AS AMENDED BY INSTRUMENTS RECORDED OCTOBER 30, 1979 IN BOOK 13374, PAGE 419, JANUARY 26, 1984 AS INSTRUMENT NO'S 84-037606, 84-037607, 84-037608, AND SEPTEMBER 15, 1992 AS INSTRUMENT NO. 92-616518, ALL OF OFFICIAL RECORDS OF SAID ORANGE COUNTY, FOR USE OF THE COMMON AREA AS THEREIN DEFINED. [EASEMENTS NOT PLOTTABLE FROM RECORD]

For conveyancing purposes only: APN 319-101-37 (portion) (Affects: Parcel 3)
APN 319-101-63 (Affects: Portion of Parcel 2)
APN 319-101-75 (Affects: Portion of Parcel 2)

FLOOD ZONE

THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP 06059C0042J BEARING AN EFFECTIVE DATE OF DECEMBER 3, 2009. THERE IS NO 100-YR FLOOD ELEVATION IDENTIFIED ON THE FLOOD MAP.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF STATE COLLEGE BOULEVARD BEING NORTH 89°10'36" WEST PER PARCEL MAP, P.M.B. 139/12-16.

SURVEY INFORMATION

SOURCE OF BOUNDARY INFORMATION [R.A. SMITH] [03/29/18]
SOURCE OF TOPOGRAPHIC INFORMATION [R.A. SMITH] [03/29/18]

UTILITY NOTE

UTILITIES ON SITE ARE SHOWN PER A FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION DURING APRIL, 2022. THIS SURVEY DOES NOT CONSTITUTE A COMPLETE "AS-CONSTRUCTED" SURVEY OF ALL UTILITIES. ALL ABOVE GROUND VISIBLE OR REASONABLY DISCOVERABLE IMPROVEMENTS, WITHIN 5 FEET OF THE PROPERTY LINES, ARE SHOWN HEREON.

ZONING AND SETBACK

THE PROPERTY IS ZONED "MU-1" MIXED USE. ALL YARDS AND SETBACKS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE COMMUNITY DEVELOPMENT DEPARTMENT AT THE TIME OF SITE PLAN. NO ZONING REPORT WAS PROVIDED.

UTILITY PURVEYORS

WATER	ELECTRIC	TELEPHONE
CITY OF BREA WATER DIVISION P.O. BOX 2237 BREA, CA 92822-2237 (714) 990-7687 (714) 671-4484	SOUTHERN CALIFORNIA EDISON (SCE) 851 W VALENCIA DR FULLERTON, CA 92833 (800) 655-4555	3939 E CORONADO ST ANAHEIM, CA 92807 (714) 618-9126
SEWER	GAS	CABLE/INTERNET
CITY OF BREA SEWER DIVISION P.O. BOX 2337 BREA, CA 92822-2337 (714) 990-7691 (714) 671-4484	SOUTHERN CALIFORNIA GAS COMPANY 716 S STATE COLLEGE BLVD. ANAHEIM, CA 92805 (800) 427-2200	CHARTER SPECTRUM 3430 E MIRALOMA AVE ANAHEIM, CA 92806 (714) 414-1454

SOILS ENGINEER

GEOTECHNICAL PROFESSIONALS, INC.
5736 CORPORATE AVENUE
CYPRESS, CA 90630
(714) 220-2211
CONTACT: DONALD A. CORDS, G.E.

CIVIL ENGINEER

R.A. SMITH, INC.
8911 RESEARCH DRIVE
IRVINE, CALIFORNIA 92618
(949) 872-2378 Phone
(949) 387-3915
CONTACT: CHRIS BRATTY
COLBY NENNIG, P.E.

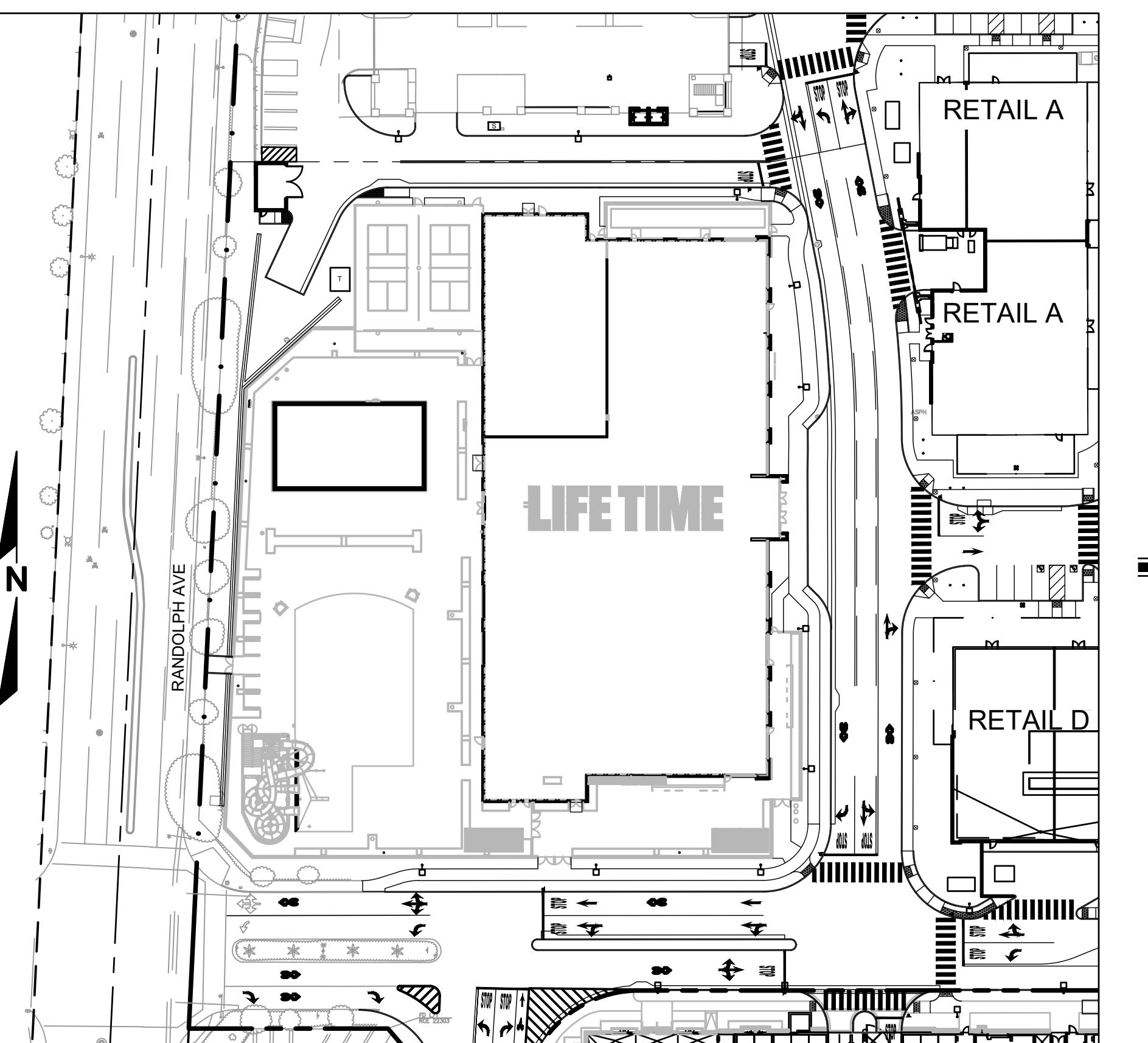
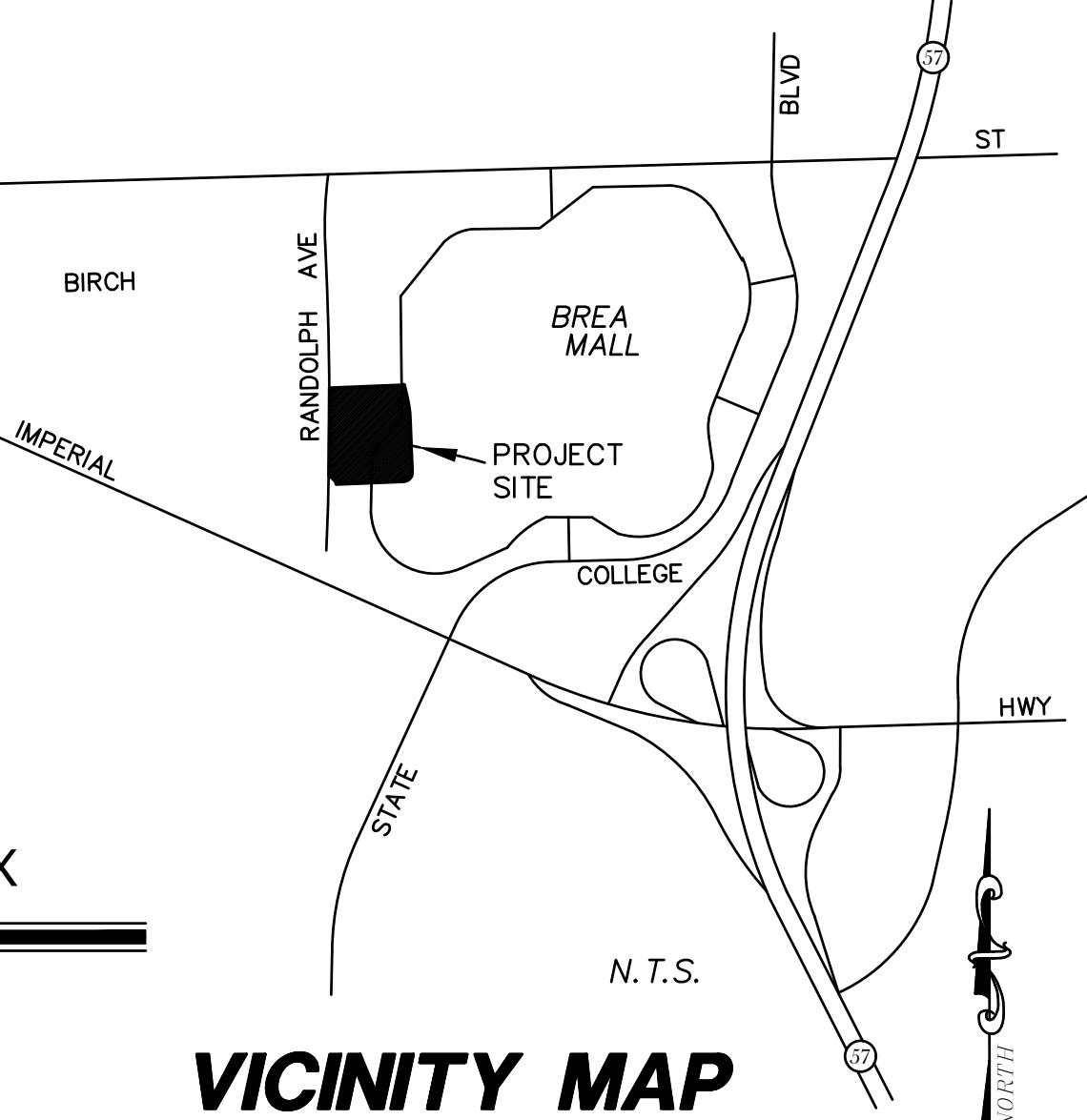
raSmith
CREATIVITY BEYOND ENGINEERING

rasmith.com

GRADING AND DRAINAGE IMPROVEMENT PLANS FOR LIFE TIME AT BREA MALL

1600 BREA MALL
CITY OF BREA, COUNTY OF ORANGE, CA

DESCRIPTION
FOR CITY'S USE



OVERALL SITE MAP

1" = 60'

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2	NOTES AND QUANTITIES
C3	EROSION & SEDIMENT CONTROL PLAN
C4	HORIZONTAL CONTROL PLAN
C5	PRECISE GRADING PLAN
C6	SITE SECTIONS
C7	STORM DRAIN PLAN
C8	OVERALL PRIVATE SANITARY SEWER & WATER PLAN
C9	PRIVATE WATER & SEWER PLAN
C10	DETAILS
C11	DETAILS
C12	GEOTECHNICAL REPORT APPLICABLE SHEETS
C13	CONDITIONS OF APPROVAL
C14	CONDITIONS OF APPROVAL
C15	CONDITIONS OF APPROVAL
C16	CONDITIONS OF APPROVAL
C17	CONDITIONS OF APPROVAL
C18	CUT-FILL EARTHWORK EXHIBIT

LEGEND

— — — — —	= TRACT BOUNDARY/PROPERTY LINE
— — — — —	= INTERIOR PARCEL LINES
— — — — —	= EASEMENT LINE
— — — — —	= PROPOSED WATER LINE
— — — — —	= PROPOSED FIRE LINE
— — — — —	= PROPOSED SANITARY SEWER LINE
— — — — —	= PROPOSED STORM DRAIN LINE
— — — — —	= PROPOSED STORM FORCE MAIN
⑤	= STORM DRAIN MANHOLE
⑥	= SEWER MANHOLE
—	= EXISTING STORM DRAIN PIPE
■	= STORM DRAIN INLET (AT GRADE)
■■	= ELECTRICAL TRANSFORMER
□+□	= PROPOSED PARKING LOT LIGHT
DDC	= DOUBLE CHECK BACKFLOW ASSEMBLY
●	= BACKFLOW PREVENTION ASSEMBLY
□	= GAS METER (BY OTHERS)
W	= WATER METER
□□	= STORM DRAIN JUNCTION STRUCTURE (AT GRADE)
⊗	= EXISTING FIRE HYDRANT
⊗	= PROPOSED FIRE HYDRANT
●	= WATER VALVE
↓	= THRUST BLOCK
○○	= SEWER OR STORM DRAIN CLEANOUT
>—FDC	= FIRE DEPARTMENT CONNECTION (FDC)
PIV	= POST INDICATING VALVE
(140.00)	= EXISTING SPOT ELEVATION/DIMENSION
—XXXXXX—	= SAWCUT LINE

GEOTECHNICAL REPORT

PREPARED BY: GEOTECHNICAL PROFESSIONALS, INC.
DATE: MAY 11, 2022
PROJECT NO.: 3085.I
CONTACT: DONALD A. CORDS, G.E.
PHONE: (714) 220-2211

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO
RECOMMENDATIONS OF SOILS
ENGINEERING/GEOLOGIC REPORTS DATED
04/05/2023.

SIGNATURE: 
DATE: 02/19/24

DEFERRED SUBMITTALS

UTILITY RELOCATION	BLD-2022-00489
SITE DEMOLITION	BLD-2022-00490
BUILDING DEMOLITION	BLD-2022-00491
FIRE MASTER PLAN	FIR-2023-00031
UNDERGROUND FIRE - RETAIL	FIR-2023-00032
UNDERGROUND FIRE - RESIDENTIAL	FIR-2023-00033
OVERALL GRADING PLAN	BLD-2023-00786
BUILDING PLANS - LIFE TIME	BLD-2022-01606
LANDSCAPING - LIFE TIME	BLD-2022-01607
POOL PLANS - LIFE TIME	BLD-2022-01608
DECKING AREA - LIFE TIME	BLD-2022-01609
GRADING & UTILITIES - LIFE TIME	BLD-2022-01610
UNDERGROUND FIRE - LIFE TIME	BLD-2022-01610
BUILDING PLANS - RESIDENTIAL	BLD-2022-01679
LANDSCAPING - RESIDENTIAL	BLD-2022-01680
GRADING & UTILITIES - RESIDENTIAL	BLD-2022-01681
BLDG. B & BLDG. C PLANS	BLD-2022-01657
BUILDING A PLANS	BLD-2022-01658
BUILDING D PLANS	BLD-2022-01659
PARKING STRUCTURE IMPROVEMENTS	BLD-2022-01660
OVERALL HARDCAPE PLANS	BLD-2022-01661

RA SMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES,
LIABILITY OR COSTS RESULTING FROM CHANGES OR
ALTERATIONS MADE TO THIS PLAN WITHOUT THE
EXPRESSED WRITTEN CONSENT OF RA SMITH.

THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

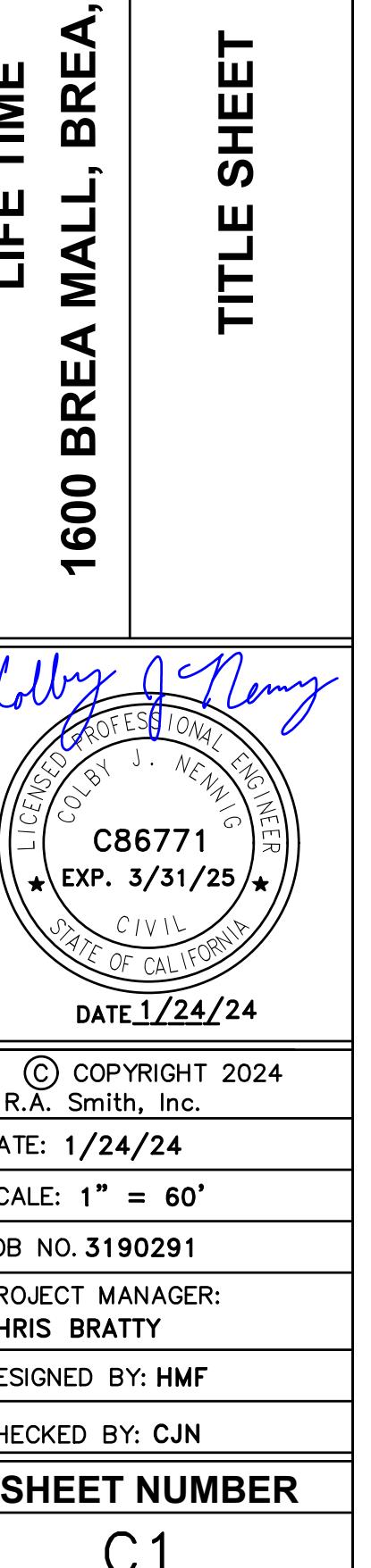
DESIGNED BY: HMF
CHECKED BY: CJN

SHEET NUMBER

C1

811
Know what's below.
Call before you dig.

WDID NO.: 8 30C398406



**ENGINEER'S NOTES TO
CONTRACTOR:**

- CONTRACTOR AGREES THAT HE/SHE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE GOVERNING AUTHORITIES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE CONSULTING ENGINEER OR THE GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS, WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE; AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED, RECONNECTED, AND/OR RECONSTRUCTED SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- ALL WORK SHALL CONFORM TO THE STANDARD PLANS AND SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. (GREEN BOOK LATEST EDITION)
- WORK WITHIN ADA PATH OF TRAVEL AND ADA PARKING SHALL CONFORM TO THE CURRENT CALIFORNIA TITLE 24, AND THE CALIFORNIA ACCESSIBILITY MANUAL FOR ALL ADA REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGITALERT AT 811 TWO WORKING DAYS BEFORE PRIOR TO ANY DIGGING.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND COMPLIANCE WITH ALL SOUTH COAST AQMD RULES AND REGULATIONS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS BY AQMD.
- WATER SHALL BE APPLIED TO THE SITE TWICE DAILY DURING GRADING OPERATIONS IN COMPLIANCE WITH SOUTH COAST AQMD RULE 403 (FUGITIVE DUST EMISSIONS). CONTRACTOR SHALL PERIODICALLY OPERATE STREET SWEEPERS ON PAVED AREAS ADJACENT TO THE SITE.
- ALL EXISTING CURB PAINTED RED TO BE REMOVED AND REPLACED SHALL BE PAINTED RED PER THE LOCAL FIRE AUTHORITY DEPARTMENT REQUIREMENTS.
- ALL PROPOSED PAVEMENT, SIDEWALK, AND CURBS JOINING EXISTING SHALL BE FLUSH AT TRANSITION.
- ALL EXISTING UTILITY COVERS, GRATES, OR BOXES WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED SURFACE. ALL GRATES SHALL BE ORIENTED PERPENDICULAR TO THE DIRECTION OF TRAVEL. ALL NEW GRATES SHALL BE ADA COMPLIANT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN 1% MIN. SURFACE GRADE FOR POSITIVE DRAINAGE IN ALL AREAS. NOTIFY ENGINEER PRIOR TO CONSTRUCTION WITH ANY DISCREPANCIES DISCOVERED.
- WHERE OVERLAY AND JOIN LINES MAY RESULT IN PONDING, THE CONTRACTOR SHALL FEATHER OUT AT 1% MIN. TO MAINTAIN POSITIVE DRAINAGE.
- ALL GRADING ALONG CURBS, GUTTERS, AND LIMITS OF OVERLAY SHALL BE A MINIMUM OF 5-FEET WIDTH AND TAPERED FROM 1 5/8-INCH AT OUTSIDE LIMITS TO 0-INCH AT INSIDE LIMITS.
- ALL DRIVE TRANSITIONS AT END OF OVERLAY LIMITS SHALL HAVE A DOUBLE HEADER CUT.
- ALL PROPOSED ELEVATIONS/CONTOURS SHOWN REPRESENT FINISH SURFACE ELEVATIONS.
- IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING ARE NOT TYPICALLY SHOWN. IF SHOWN ON THE CIVIL DRAWINGS, THESE ITEMS ARE FOR REFERENCE ONLY AND NOT FOR CONSTRUCTION STAKING. VERIFY LOCATION BEFORE COMMENCING WITH GRADING, REPLACE OR REPAIR DAMAGED ITEM IMMEDIATELY TO PROVIDE UNINTERRUPTED SERVICE.

17. GRADING MATCH POINTS TO EXISTING CONDITIONS ARE BASED ON ESTIMATED ELEVATIONS FROM AERIAL AND TOPOGRAPHIC FIELD SURVEYS. CONTRACTOR SHALL VERIFY ELEVATIONS AT MATCH POINTS BEFORE GRADING TO ENSURE PROPER DRAINAGE AND SLOPES.

18. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES AND FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.

19. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SIGNAGE/STRIPING CONFLICTS BY REMOVING, SANDBLASTING, AND OR HIGH PRESSURE POWER WASHING. SEE PLANS FOR TYPE OF REMOVALS AND MEANS OF REMOVALS.

21. ALL TRAFFIC CONTROL AND LANE CLOSURES TO BE PER THE CURRENT CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.

22. SAWCUT LINE INDICATES LIMITS OF APPROXIMATE REMOVALS. FOR CONCRETE REMOVALS, CONTRACTOR SHALL REMOVE TO THE NEAREST EXPANSION JOINT.

23. NOISE SOURCES ASSOCIATED WITH CONSTRUCTION, REPAIR, REMODELING OR GRADING OF ANY REAL PROPERTY, AND DELIVERY OR REPAIR OF CONSTRUCTION AND GRADING EQUIPMENT, IS ALLOWED, PROVIDED SUCH ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 8:00 P.M. TO 7:00 A.M. ON WEEKDAYS, INCLUDING SATURDAY, OR AT ANY TIME ON SUNDAY OR A FEDERAL HOLIDAY, OR AS NOTED IN THE CITY OF BREA MUNICIPAL CODE.

24. THE CONTRACTOR SHALL ENSURE THAT ADA SIGNAGE WITHIN THE IMPROVEMENTS LIMITS ARE LOCATED IN THE PROPER LOCATION WITHIN THE ADA PARKING STALLS AND SHALL ADJUST, RELOCATE, OR REPLACE TO COMPLY WITH THE CURRENT ADA, CBC, AND LOCAL CODE. ADA SIGNS IN A.C. PAVEMENT MODIFICATIONS MAY REQUIRE HEIGHT/LOCATION ADJUSTMENTS DUE TO NEW FINISH SURFACE ELEVATIONS. MAINTAIN 18-FEET MINIMUM CLEAR FROM ADA PARKING STALL AND 4-FEET MINIMUM CLEAR FOR ACCESS/PATH OF TRAVEL.

25. DESIGN SHALL COMPLY WITH THE 2019 EDITION OF THE CBC, CMC, CPC AND CEC AS AMENDED BY CITY ORDINANCES AND THE CURRENT EDITION TITLE 24 ENERGY REGULATIONS.

26. CONTRACTOR SHALL LEAVE NO VERTICAL EDGES WHERE EXISTING/PROPOSED ASPHALT MEETS EXISTING PROPOSED CONCRETE. CONTRACTOR SHALL FEATHER EDGES PER PLANS AND/OR DETAILS. CONTRACTOR SHALL CONTACT ENGINEER IMMEDIATELY IF FURTHER DIRECTIONS IS NEEDED.

27. CONTRACTOR SHALL REPLICATE EXISTING TRAFFIC CONTROL AS AFFECTED BY THE WORK HEREIN, EXCEPT AS DESCRIBED OTHERWISE.

28. ALL STRUCTURES AND FOOTINGS SHALL BE CONSTRUCTED PER SEPARATE BUILDING AND/OR STRUCTURAL PLANS, AND APPROVED GEOTECHNICAL REPORT. DO NOT CONSTRUCT FROM CIVIL PLANS.

29. CONTRACTOR SHALL COORDINATE FINAL PAD SECTION WITH APPROVED GEOTECHNICAL REPORT, PERMITTED STRUCTURAL PLANS, AND FINISH FLOOR ELEVATIONS AS SHOWN HEREON. CIVIL ENGINEER SHALL ASSUME NO RESPONSIBILITY RESULTING FROM INCONSISTENCY BETWEEN STRUCTURAL PLANS AND APPROVED GEOTECHNICAL REPORT.

30. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT ARE IN CONTACT WITH EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8 INCHES FROM EXPOSED EARTH SHALL BE OF NATURAL DURABLE OR PRESERVATIVE-TREATED WOOD PER CALIFORNIA BUILDING CODE SECTION 2304.12.1.2.

31. PER CALIFORNIA BUILDING CODE SECTION 1804.4 – THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPES NOT LESS THAN 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.

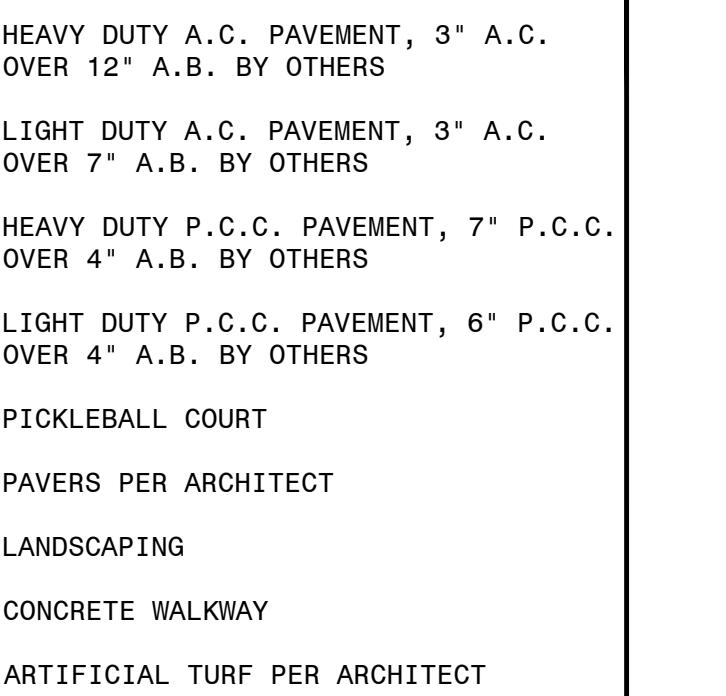
CUT/FILL ESTIMATE OF EARTHWORK

CUT: 555 CY
FILL: 4,350 CY
NET IMPORT: 3,795 CY
OVEREXCAVATION: 14,810 CY

CUT/FILL IS BASED ON THE ASSUMPTION THAT EXISTING PAD WILL BE GRADED TO FINAL ELEVATION PER THE OVERALL DEVELOPER. THE GEOTECHNICAL REPORT, SECTION 4.3.2 SPECIFIES THAT THE REMOVAL/REPLACEMENT BELOW THE BUILDING FOOTPRINT AND POOL DECK AREA SHALL BE EXTENDED 5' BELOW THE EXISTING GRADE OR 3' BELOW THE FOOTINGS, WHICHEVER IS DEEPER. THE CUT/FILL ANALYSIS IS BASED ON THIS INFORMATION AND DOES NOT ACCOUNT FOR LANDSCAPE DEPRESSIONS, SHRINKAGE, AND UTILITY TRENCHING.

EARTHWORK QUANTITIES PROVIDED FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID AND CONSTRUCTION PURPOSES. ANY EXPORT OR IMPORT TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PAVING LEGEND:



CALGREEN BUILDING CODE NOTES:

5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.

EXCEPTION: REUSE, EITHER ON-OR OFF-SITE, OF VEGETATION OR SOIL CONTAMINATED BY DISEASE OR PEST INFESTATION.

NOTES:

- IF CONTAMINATION BY DISEASE OR PEST INFESTATION IS SUSPECTED, CONTACT THE COUNTY AGRICULTURAL COMMISSIONER AND FOLLOW ITS DIRECTION FOR RECYCLING OR DISPOSAL OF THE MATERIAL. (WWW.Cdfa.ca.gov/Exec/Country_County_Contacts.html)
- FOR A MAP OF KNOWN PEST AND/OR DISEASE QUARANTINE ZONES, CONSULT WITH THE CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE. (WWW.Cdfa.ca.gov)

STORM DRAIN NOTES:

	QTY	PRIVATE SANITARY SEWER NOTES:	QTY	
70	3 EA	CONNECT TO BUILDING STUB PER CALIFORNIA PLUMBING CODE. CONTRACTOR SHALL INSTALL FITTINGS AS NEEDED AT POINT OF CONNECTION. SEE PLUMBING PLANS FOR CONTINUATION.	80	1 EA
71	315 LF	CONSTRUCT HOPE STORM DRAIN (SIZE PER PLAN) PER MANUFACTURER'S RECOMMENDATIONS AND CALIFORNIA PLUMBING CODE. TRENCHING AND BEDDING PER BREA PUBLIC WORKS STANDARD PLAN 102-0. SEE DETAIL 6 ON SHEET C11.	81	40 LF
72	3 EA	INSTALL 6" ROUND ATRIUM GRATE, NDS 80 SPEE-D OR APPROVED EQUAL, PER MANUFACTURER'S SPECIFICATIONS. INSTALL TEE, REDUCER, ADAPTERS, FITTINGS AND VERTICAL PIPE RISER AS NEEDED PER NDS. TOP OF GRATE AND INVERT ELEVATION PER PLAN. DISCHARGE FROM DRAIN SHALL BE 6" HDPE PER NDS 101 OR APPROVED EQUAL.	82	2 EA
73	1 EA	INSTALL JENSEN PRECAST 18"x18" STORM DRAIN INLET PER MANUFACTURER'S RECOMMENDATIONS. INLET SHALL BE TRAFFIC RATED WITH FULL CAPTURE FILTER PER DETAIL 8 ON SHEET C10.	83	--
74	1 EA	INSTALL CLEANOUT PER STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION 204-3. SEE DETAIL 1 ON SHEET C11.	84	--
75	2 EA	CONNECT TO EXISTING STUB PER CALIFORNIA PLUMBING CODE. STUB TO BE INSTALLED A MINIMUM OF 3' BEHIND THE CURB FACE PER SEPARATE UTILITY RELOCATION PLAN UNDER BLD-2022-0489. CONTRACTOR SHALL INSTALL FITTINGS AS NEEDED AT POINT OF CONNECTION.	85	3 EA
76	10 LF	INSTALL 4"x22" CURB-O-LET CURB DRAIN FOR CULVERT UNDER SIDEWALK EGRESS. MODEL SHALL BE TCD-422-OFD OR APPROVED EQUAL.	31	1 EA
77	--	CONSTRUCTION OF STORM DRAIN PER SEPARATE UTILITY RELOCATION PLANS UNDER BLD-2022-0489. SHOWN HEREON FOR REFERENCE ONLY.	32	4 EA
		NOTE: ALL PRIVATE STORM DRAIN LINES SHALL BE CONSTRUCTED PER THE SPECIFICATIONS OUTLINED IN THE CALIFORNIA PLUMBING CODE. RUNOFF FROM THIS PROJECT WILL DISCHARGE TO AN UNDERGROUND CHAMBER SYSTEM INSTALLED UNDER BLD-2022-0489.	33	358 LF
		34 PROPOSED AC PAVEMENT PER APPROVED GEOTECHNICAL REPORT. INSTALLATION PER SEPARATE PLAN AND PERMIT.		
		35 PROPOSED PCC CURB, TYPE A1-6(150) PER SPPWC 120-2. INSTALLATION PER SEPARATE PLAN AND PERMIT.		
		36 PROPOSED PCC CURB AND GUTTER, TYPE A2-6(150) PER SPPWC 120-3. INSTALLATION PER SEPARATE PLAN AND PERMIT.		
		37 PROPOSED MOUNTABLE PCC CURB & GUTTER, TYPE B2-6 (150) PER SPPWC 121-3. INSTALLATION PER SEPARATE PLAN AND PERMIT.		
		38 PROPOSED 4-FOOT PCC LONGITUDINAL GUTTER PER SPPWC 122-2. INSTALLATION PER SEPARATE PLAN AND PERMIT.		
		39 PROPOSED BUILDING AND FOUNDATION PER BUILDING PLANS.		
		40 PROPOSED POOL DECK AND PAVERS PER BUILDING PLANS.		
		41 PROPOSED TRASH ENCLOSURE PER BUILDING PLANS.		
		42 PROPOSED FENCE, FOOTING, AND/OR RETAINING WALL PER ARCHITECT.		
		43 PROPOSED LANDSCAPING AND SOFTSCAPE PER LANDSCAPE ARCHITECT.		
		44 PROPOSED PICKLEBALL COURT PER BUILDING PLANS. 1% MAXIMUM SLOPE.		
		45 CONSTRUCT 3' MAX. RETAINING WALL PER STRUCTURAL PLANS. INSTALL GUARDRAIL PER SPPWC 606-5, TYPE C, PER CALIFORNIA BUILDING CODE. FINISH AND COLOR SHALL BE COORDINATED WITH ARCHITECT.		37 LF

PRIVATE SANITARY SEWER NOTES:

	QTY	DESCRIPTION
80	1 EA	CONNECT TO SANITARY SEWER STUB PER CALIFORNIA PLUMBING CODE. STUB SHALL BE INSTALLED A MINIMUM OF 3' BEHIND THE CURB FACE PER SEPARATE UTILITY RELOCATION PLAN UNDER BLD-2022-0489. CONTRACTOR SHALL INSTALL FITTINGS AS NEEDED AT POINT OF CONNECTION.
81	40 LF	INSTALL SDR 26 PVC SANITARY SEWER PER CITY STANDARD 202-0 AND CALIFORNIA PLUMBING CODE. TRENCHING/BEDDING PER CITY OF BREA STANDARD PLAN 218-0. SIZE, SLOPE PER PLAN.
82	2 EA	CAP PIPE AT 5' FROM BUILDING. CONTINUATION PER PLUMBING PLANS.
83	--	SANITARY SEWER INSTALLATION PER BLD-2022-0489.
84	--	GREASE INTERCEPTOR AND SAMPLE BOX PER PLUMBING PLANS.
85	3 EA	INSTALL SANITARY SEWER CLEANOUT PER CITY OF BREA STANDARD 203-0. INSTALLATION SHALL COMPLY WITH CALIFORNIA PLUMBING CODE.

PAVING AND GRADING NOTES:

	QTY
30	5,407 SF

8911 Research Drive
Irvine, CA 92618-4237
(949) 872-2378
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raSmith
CREATIVITY BEYOND ENGINEERING

LIFE TIME
1600 BREA MALL, BREA, CA 92821
NOTES AND QUANTITIES

Colby J. Neary
LICENCED PROFESSIONAL ENGINEER
C86771
EXP. 3/31/25
STATE OF CALIFORNIA
DATE 1/24/24

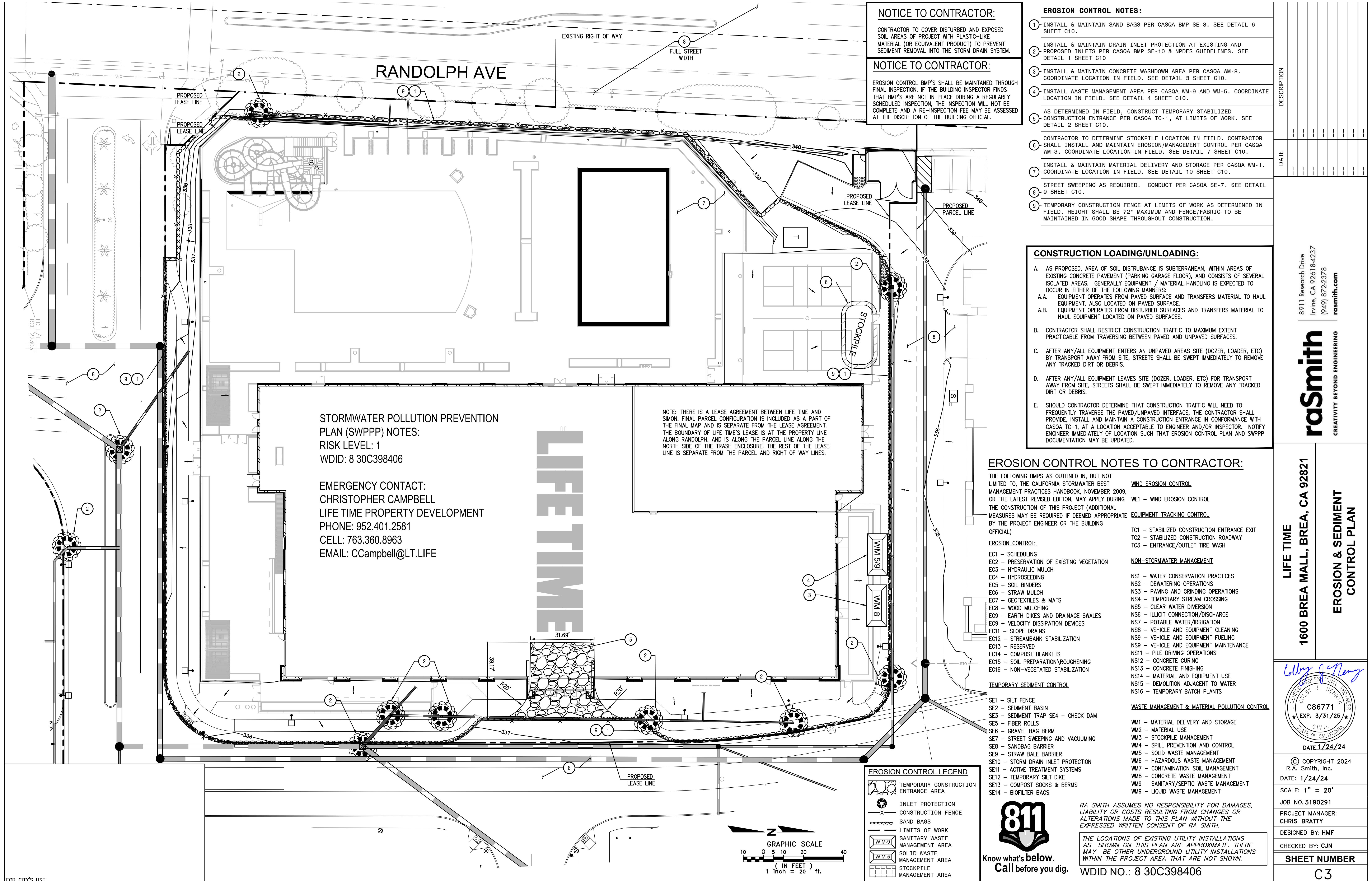
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DATE: 1/24/24
SCALE: N.T.S.
JOB NO. 3190291
PROJECT MANAGER:
CHRIS BRATTY
DESIGNED BY: HMF
CHECKED BY: CJN
SHEET NUMBER
C2

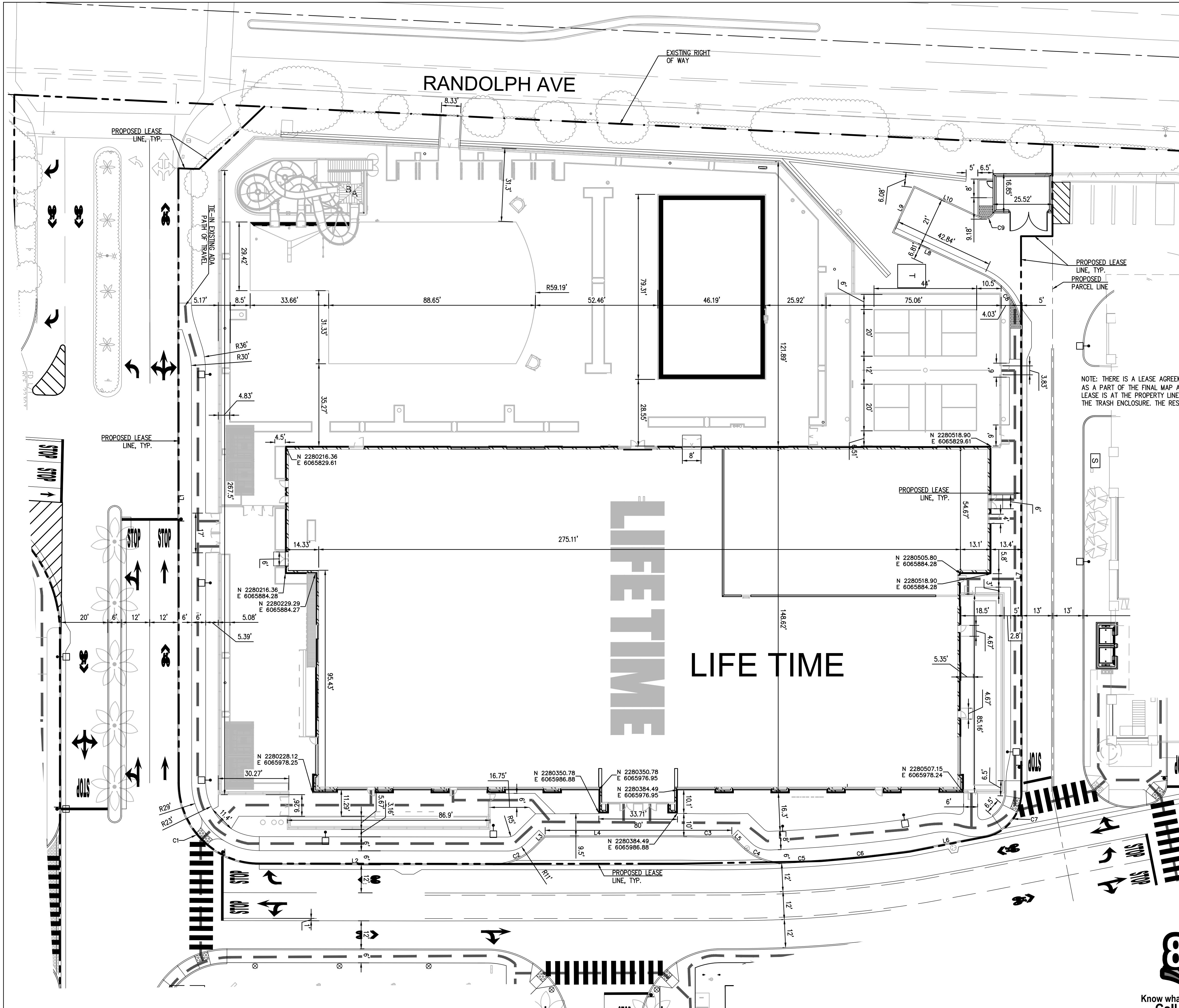


81
Know what's below.
Call before you dig.

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THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
WDID NO.: 8 30C398406

FOR CITY'S USE





FOR CITY'S USE

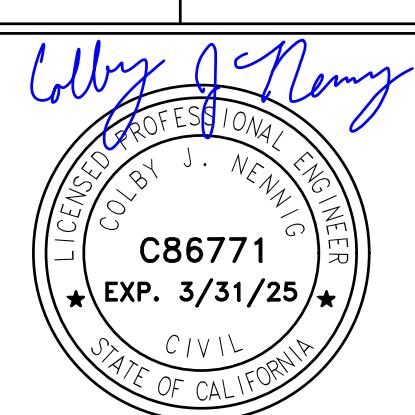
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Line #	Length	Direction	Curve #	Length	Radius	Delta
L1	194.26	N89° 57' 55.21"E	C1	54.92	35.00	89.91
L2	100.23	N0° 05' 11.24"E	C2	19.63	25.00	45.00
L3	6.61	N44° 54' 48.76"W	C3	21.62	608.15	2.04
L4	58.39	N0° 08' 00.45"W	C4	20.56	25.00	47.11
L5	6.04	N44° 14' 35.46"E	C5	15.24	620.15	1.41
L6	32.67	N11° 04' 54.45"W	C6	38.32	620.15	3.54
L7	196.18	S89° 58' 53.45"W	C7	27.55	20.00	78.94
L8	42.84	S24° 58' 53.64"W	C8	31.77	28.00	65.02
L9	21.00	N65° 01' 06.36"W	C9	7.16	4.50	91.19
L10	31.03	N24° 58' 53.64"E				

NOTE: THERE IS A LEASE AGREEMENT BETWEEN LIFE TIME AND SIMON. FINAL PARCEL CONFIGURATION IS INCLUDED AS A PART OF THE FINAL MAP AND IS SEPARATE FROM THE LEASE AGREEMENT. THE BOUNDARY OF LIFE TIME'S LEASE IS AT THE PROPERTY LINE ALONG RANDOLPH, AND IS ALONG THE PARCEL LINE ALONG THE NORTH SIDE OF THE TRASH ENCLOSURE. THE REST OF THE LEASE LINE IS SEPARATE FROM THE PARCEL AND RIGHT OF WAY LINES.

8911 Research Drive
Irvine, CA 92618-4237
(949) 872-2378
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raSmith
CREATIVITY BEYOND ENGINEERING

LIFETIME
1600 BREA MALL, BREA, CA 92821
HORIZONTAL CONTROL PLAN

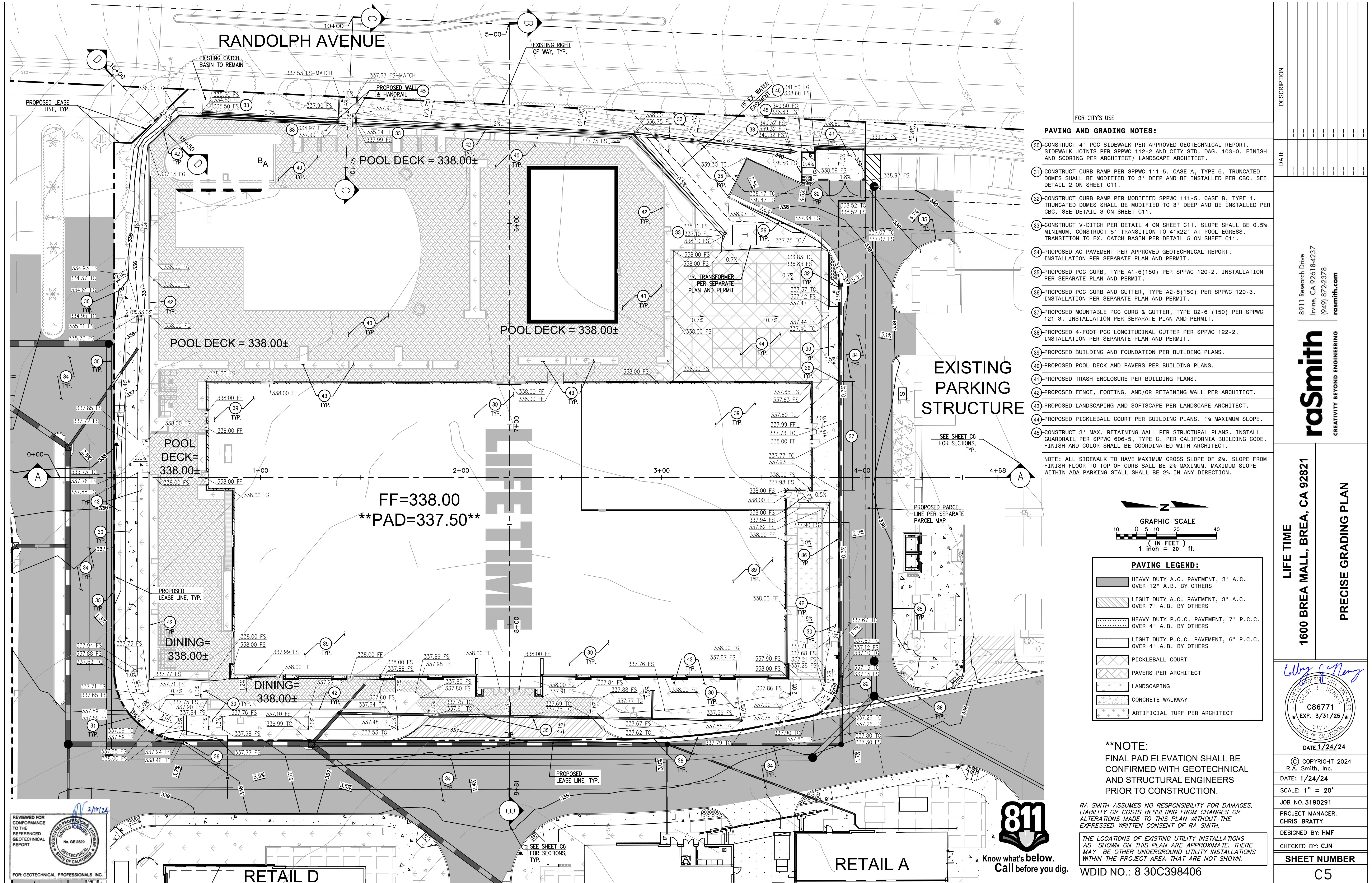


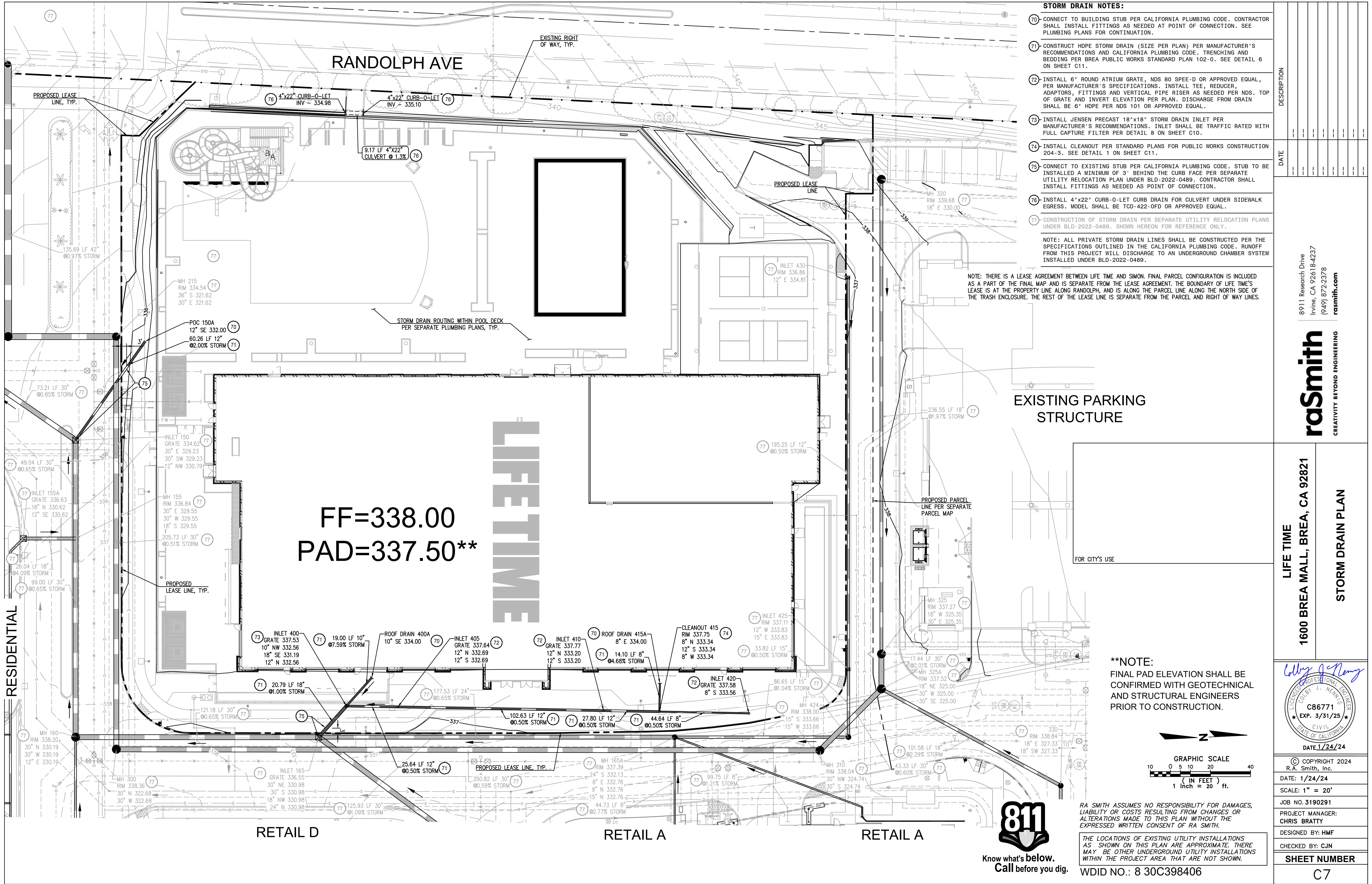
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R.A. Smith, Inc.
DATE: 1/24/24
SCALE: 1" = 20'
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PROJECT MANAGER:
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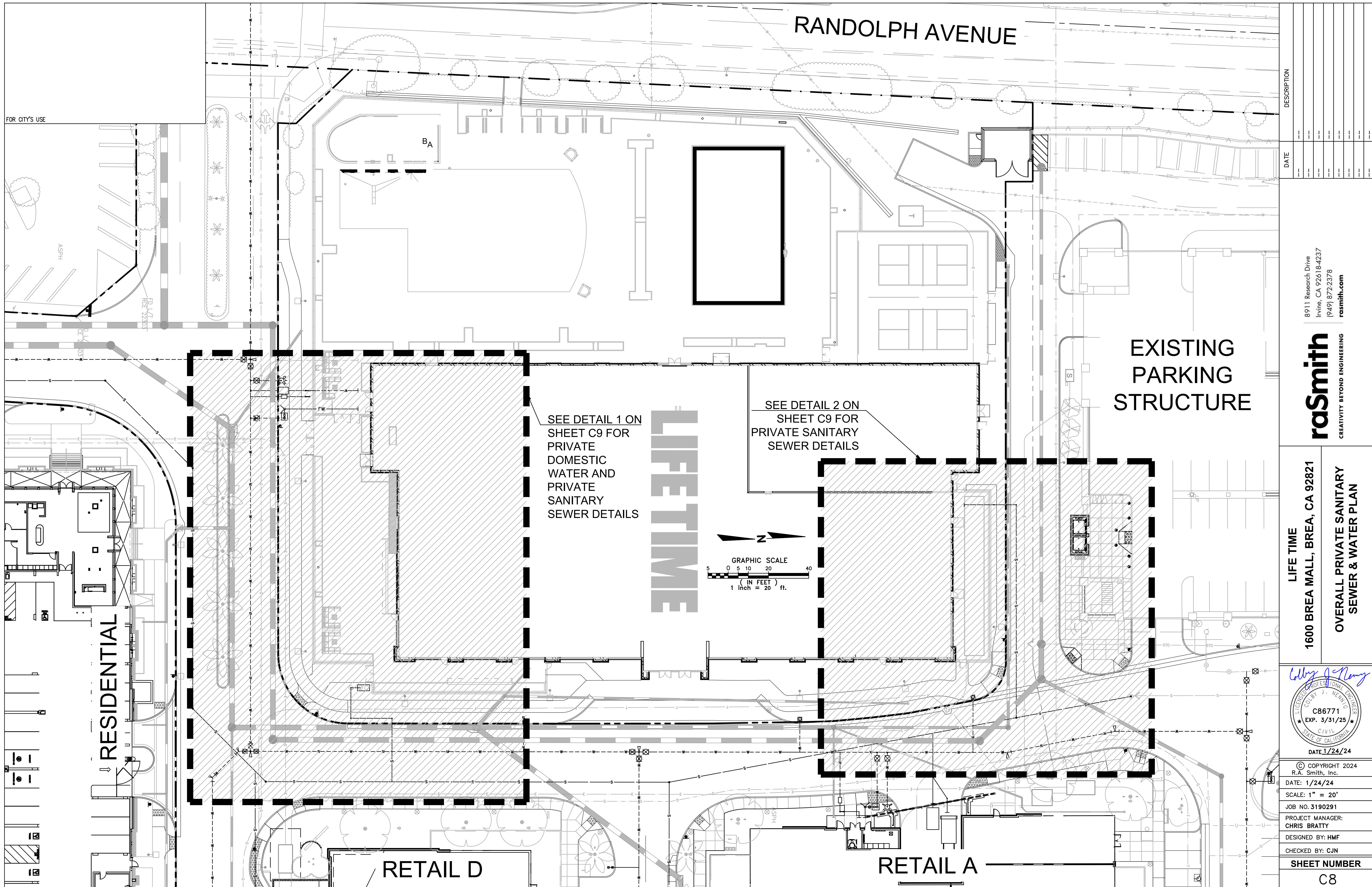


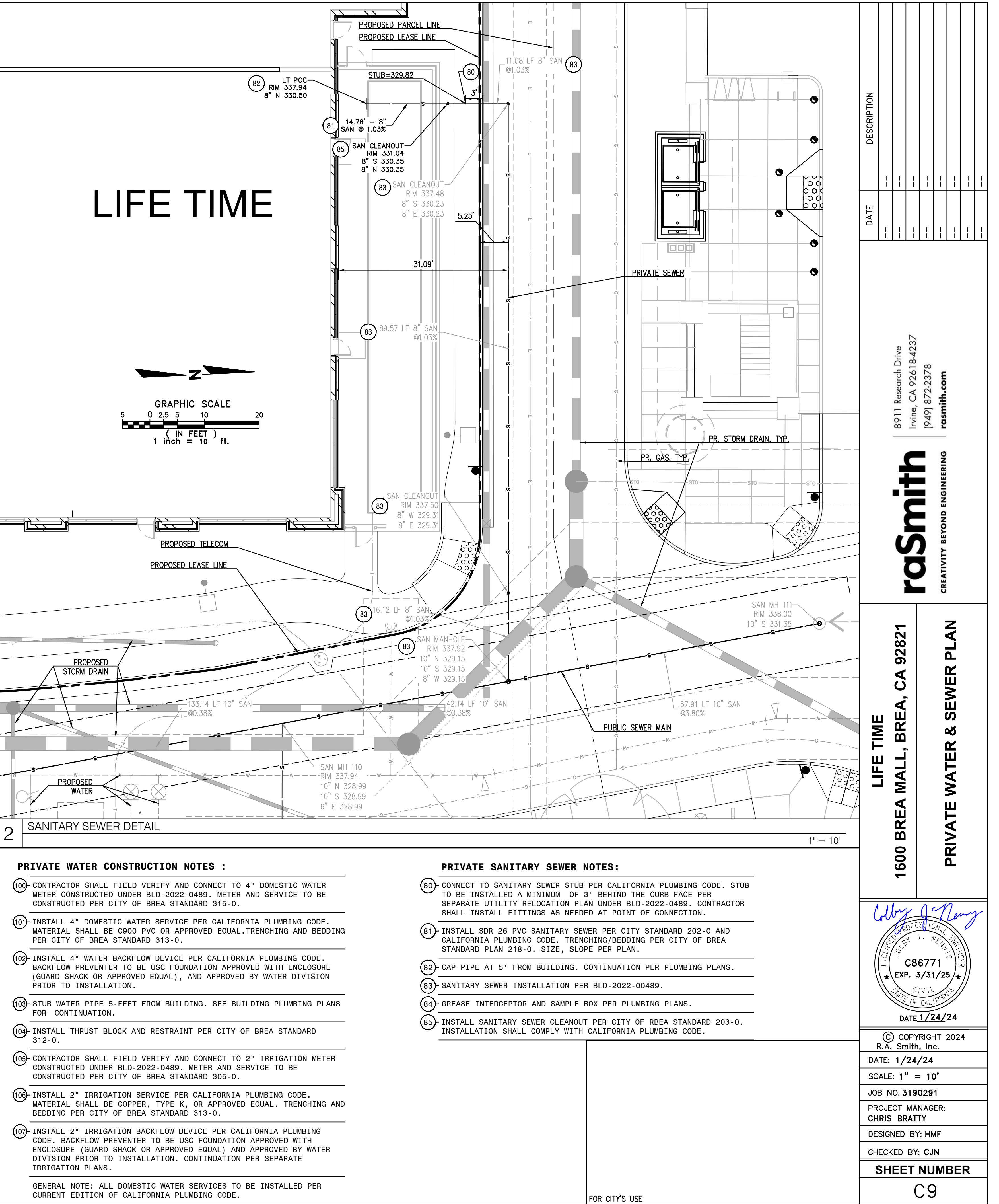
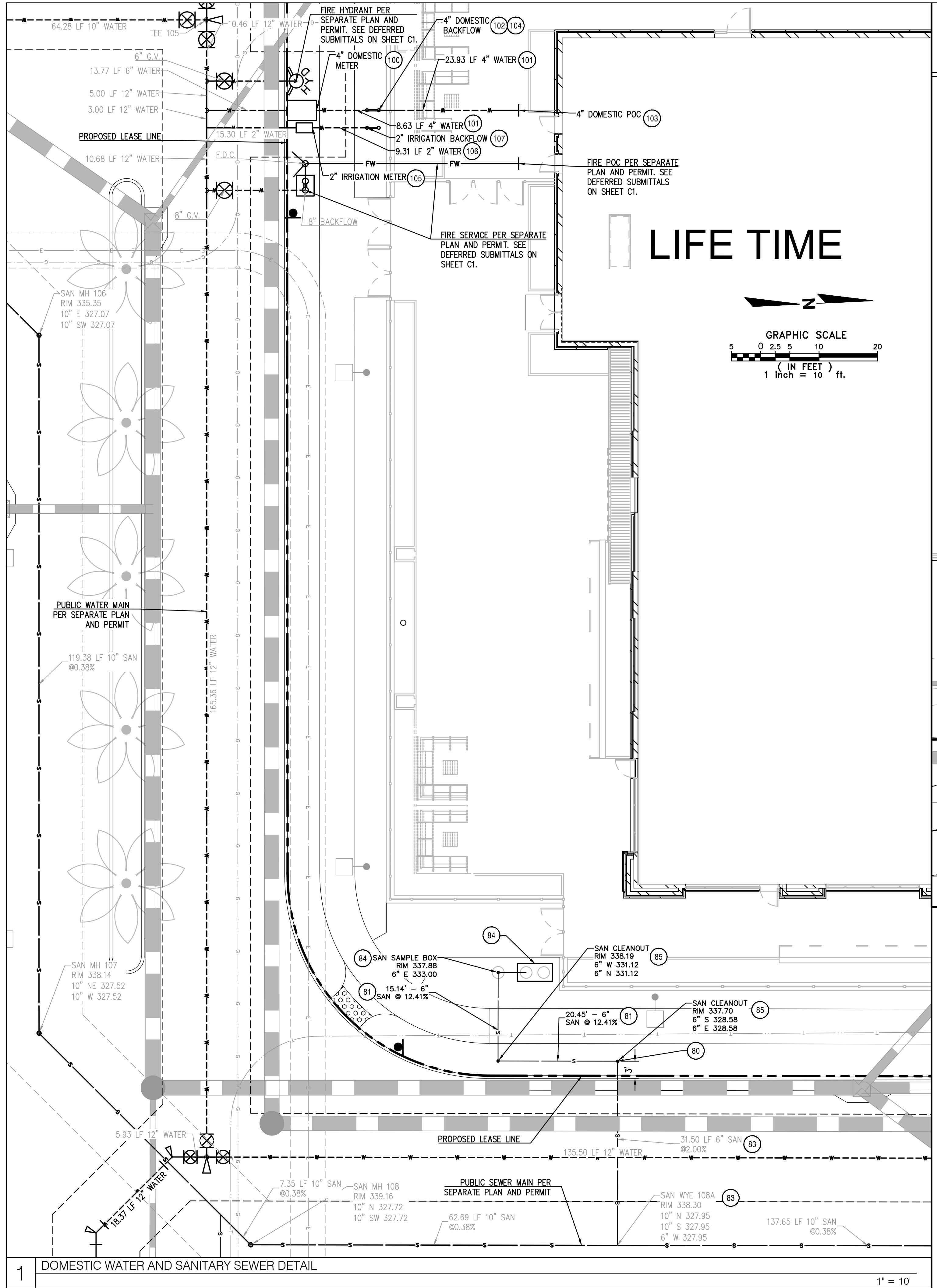
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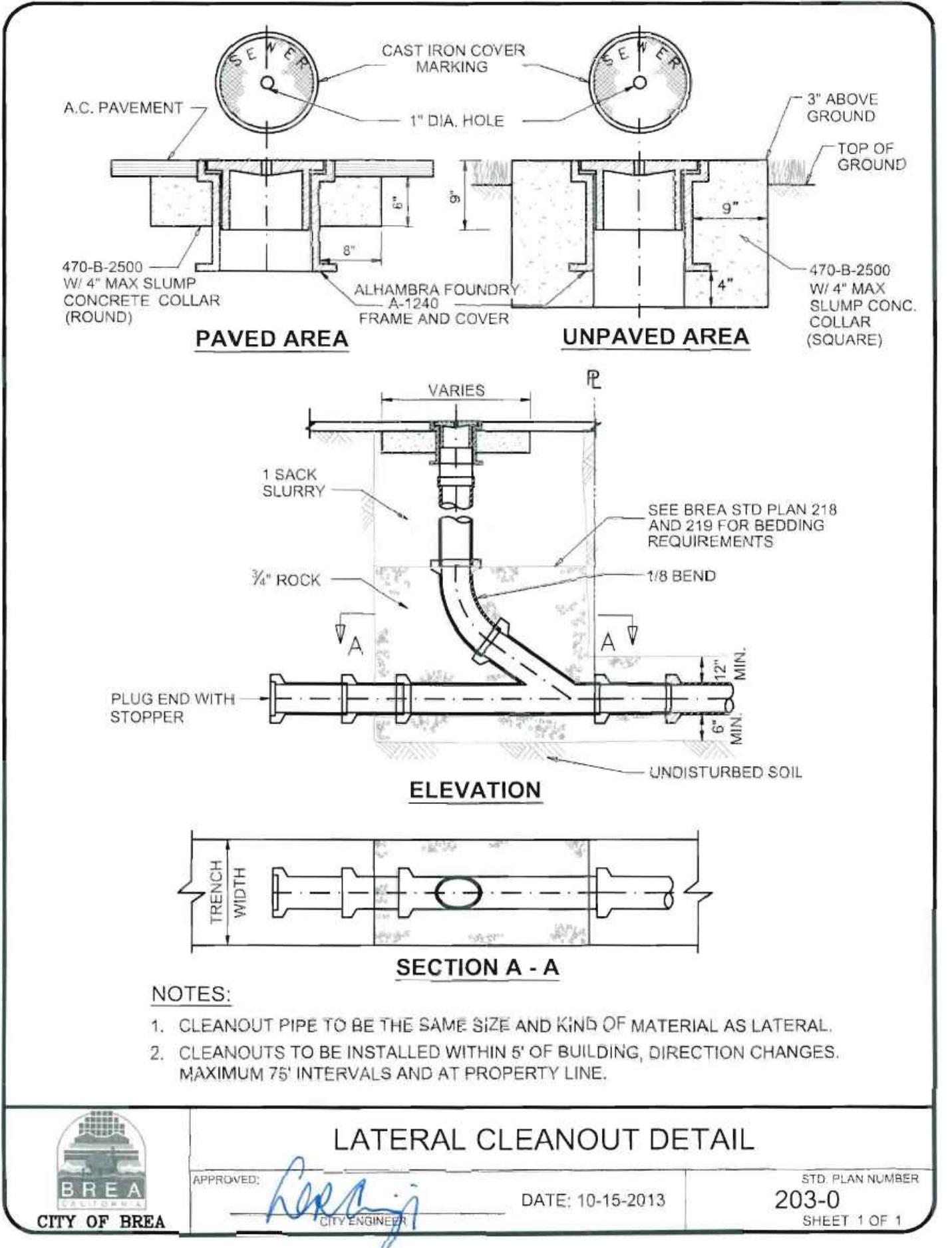
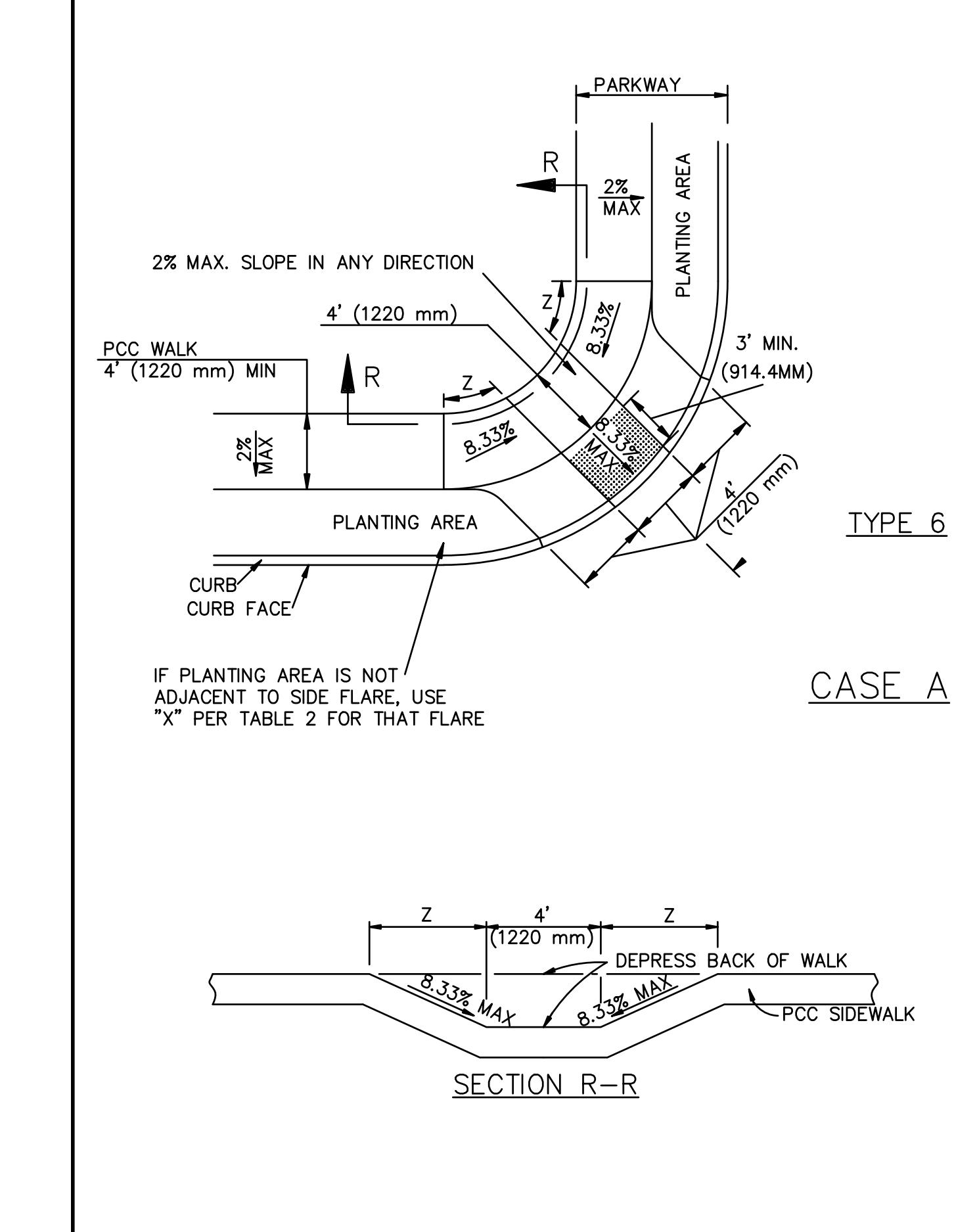
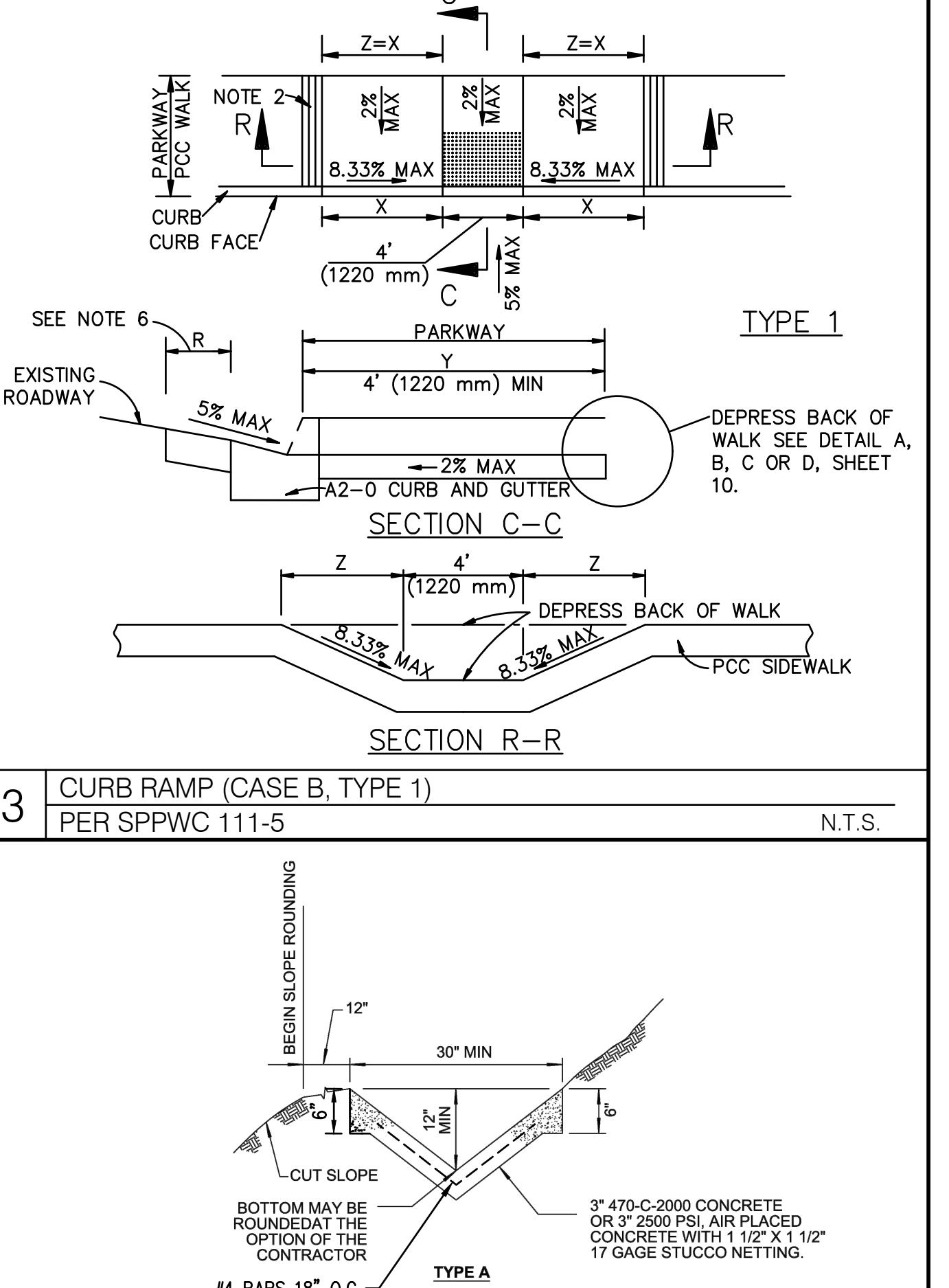
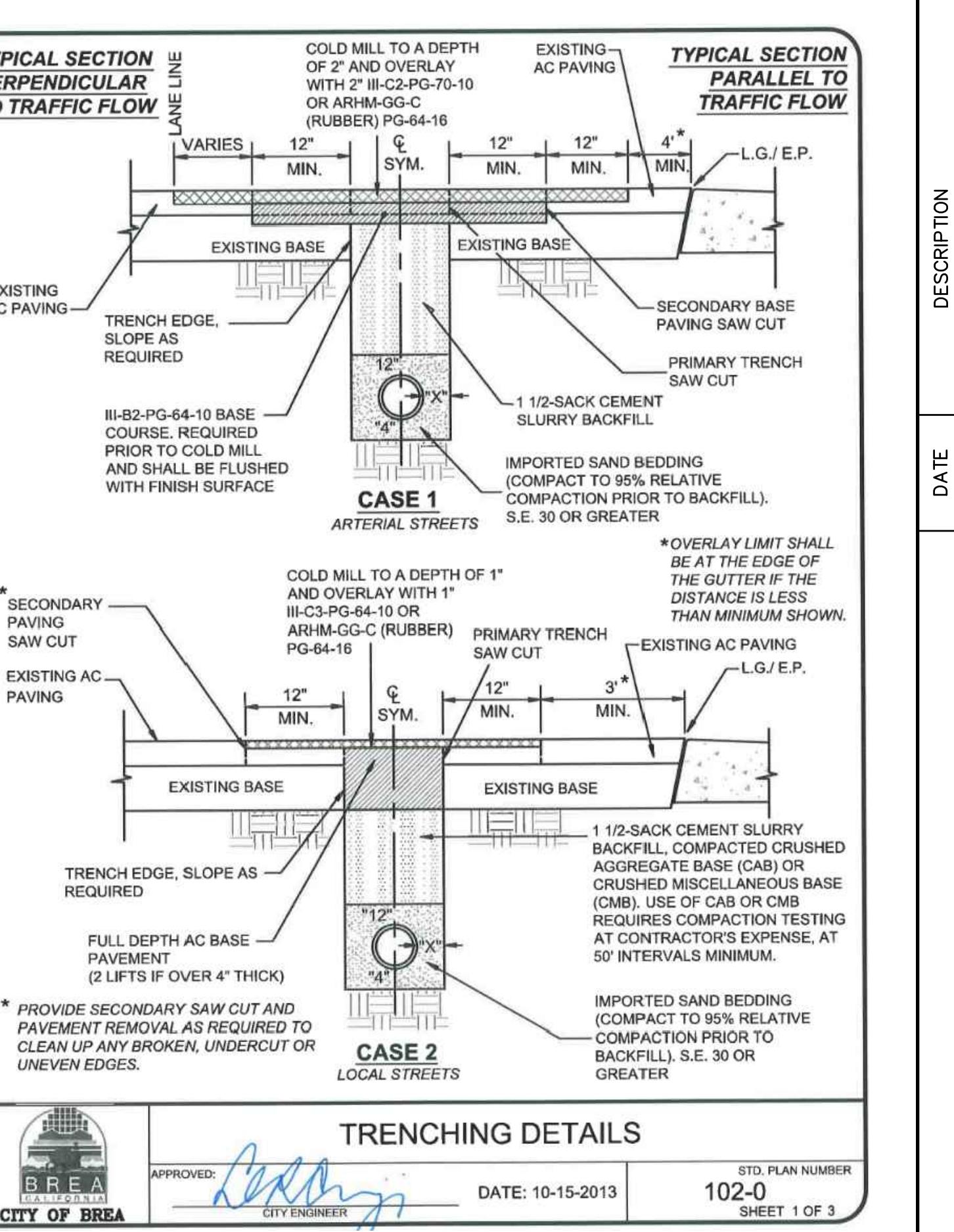
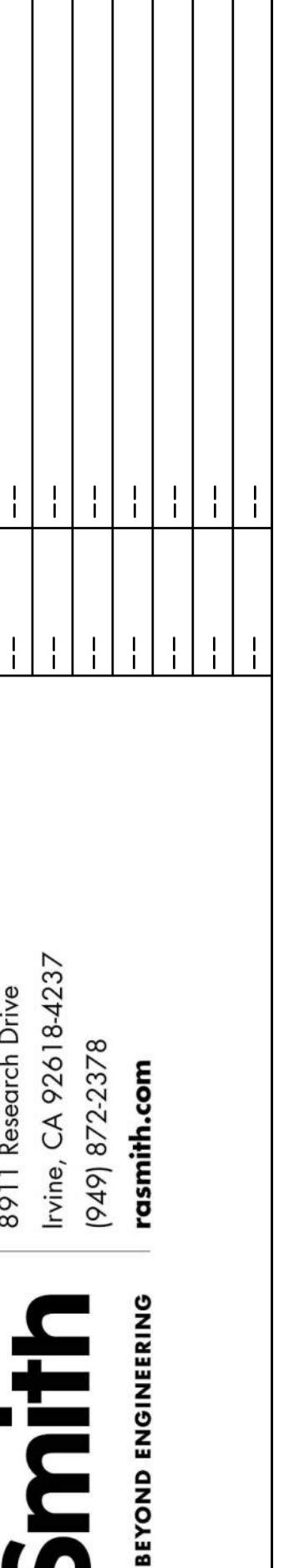
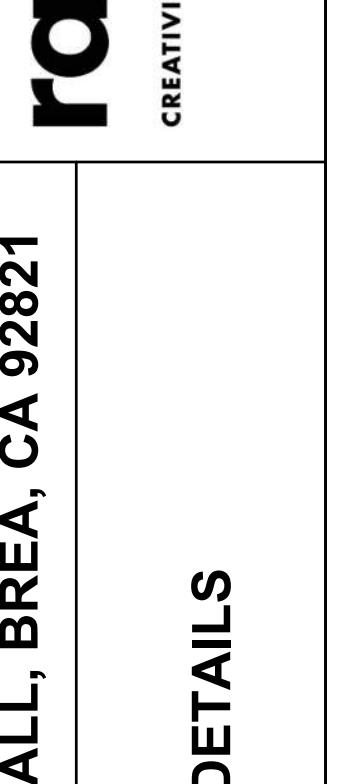
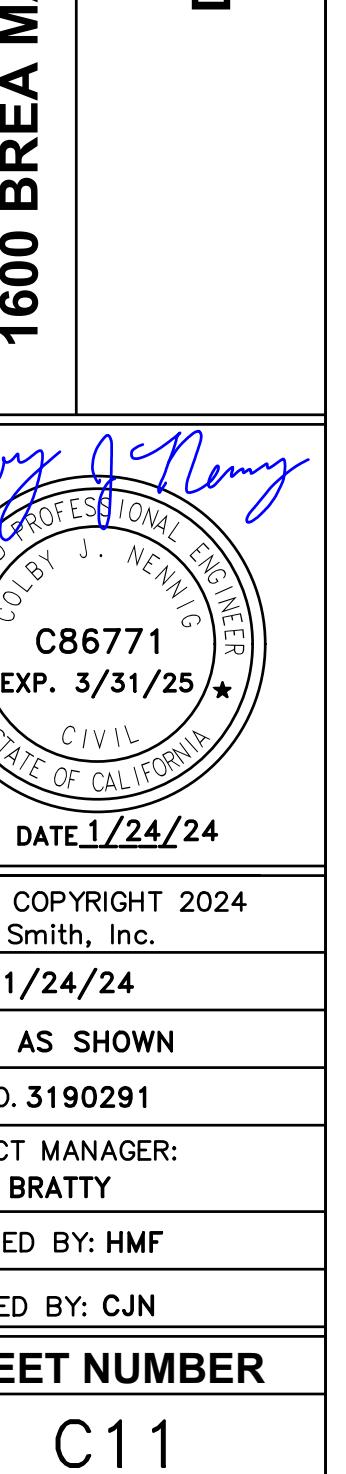
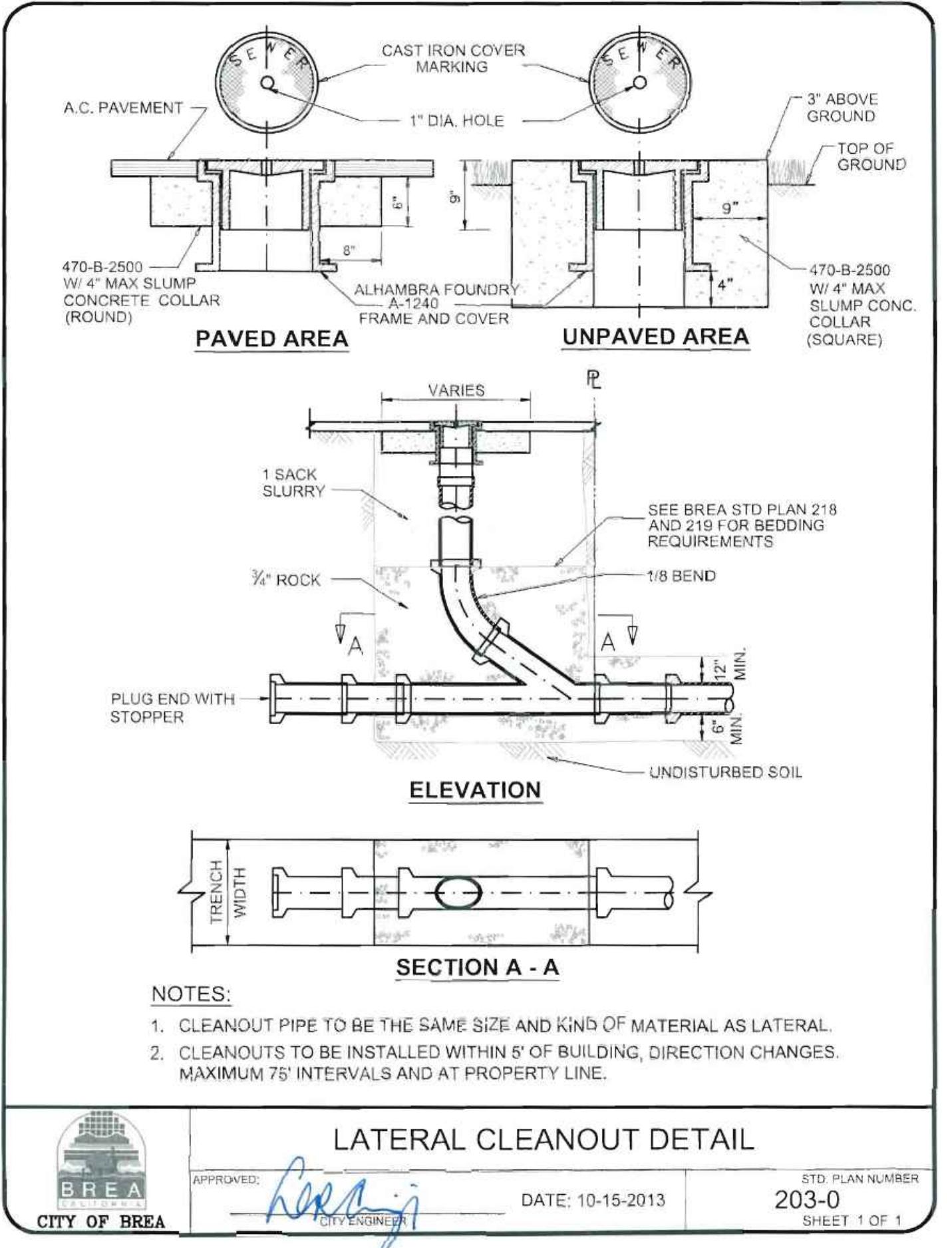
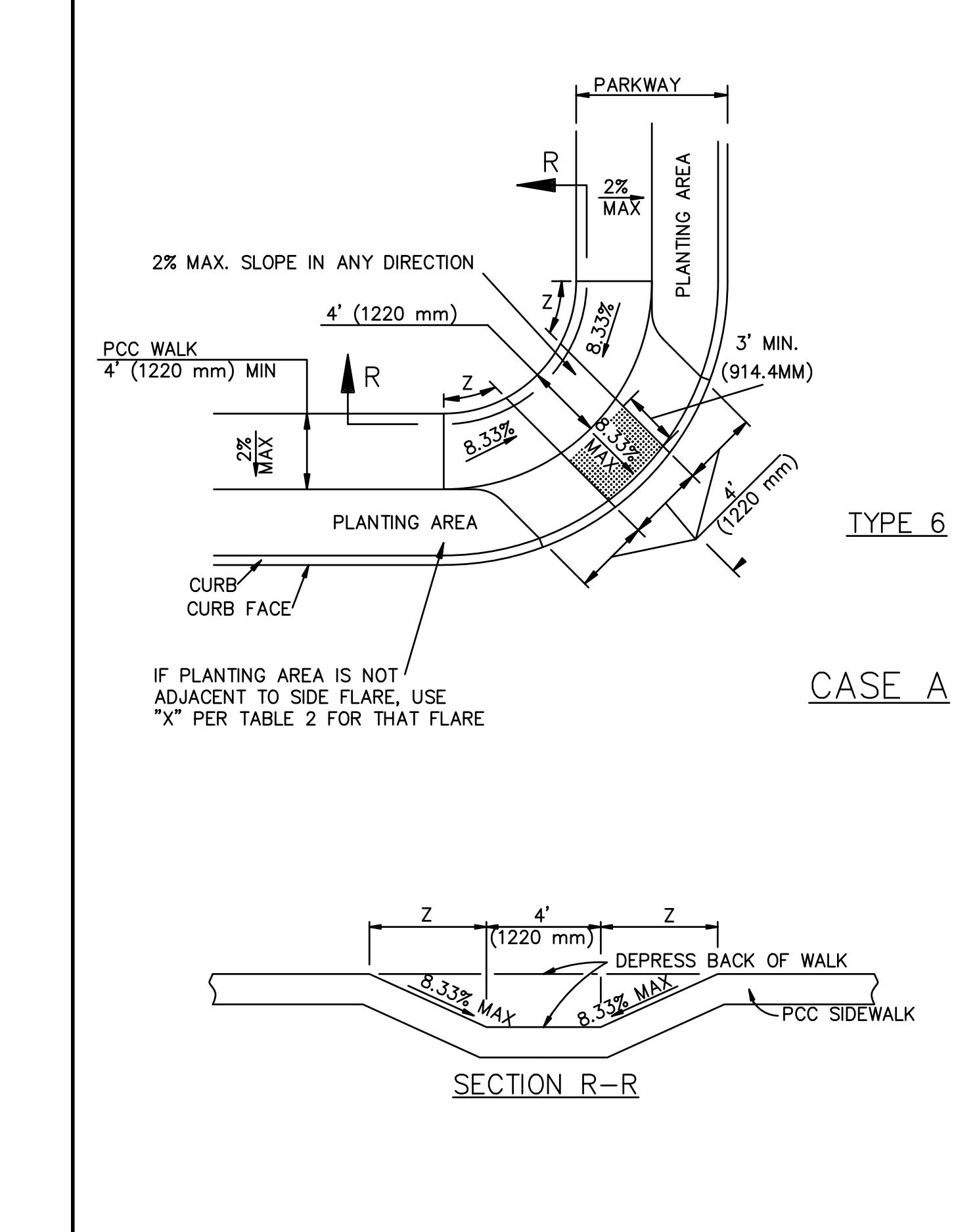
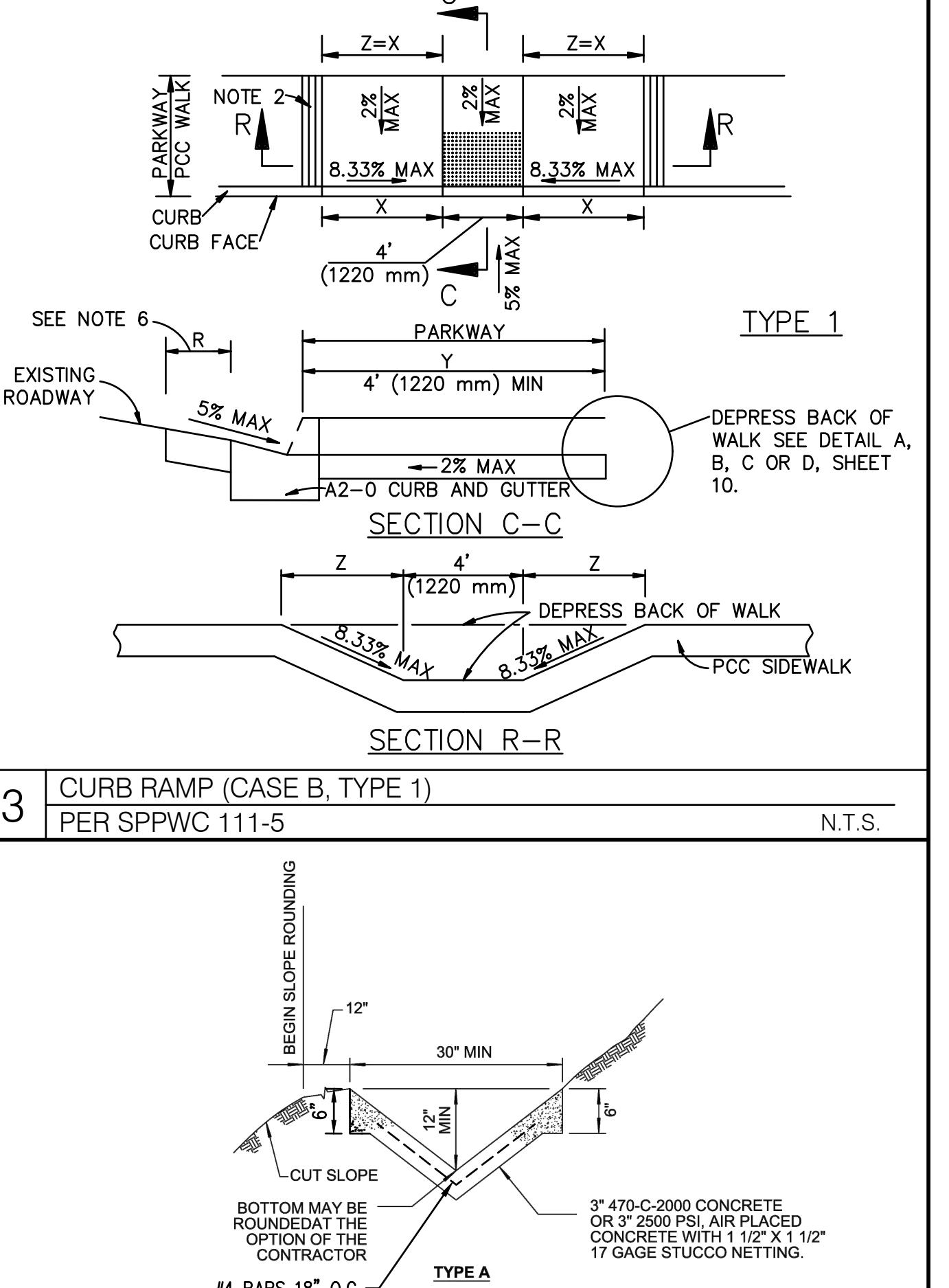
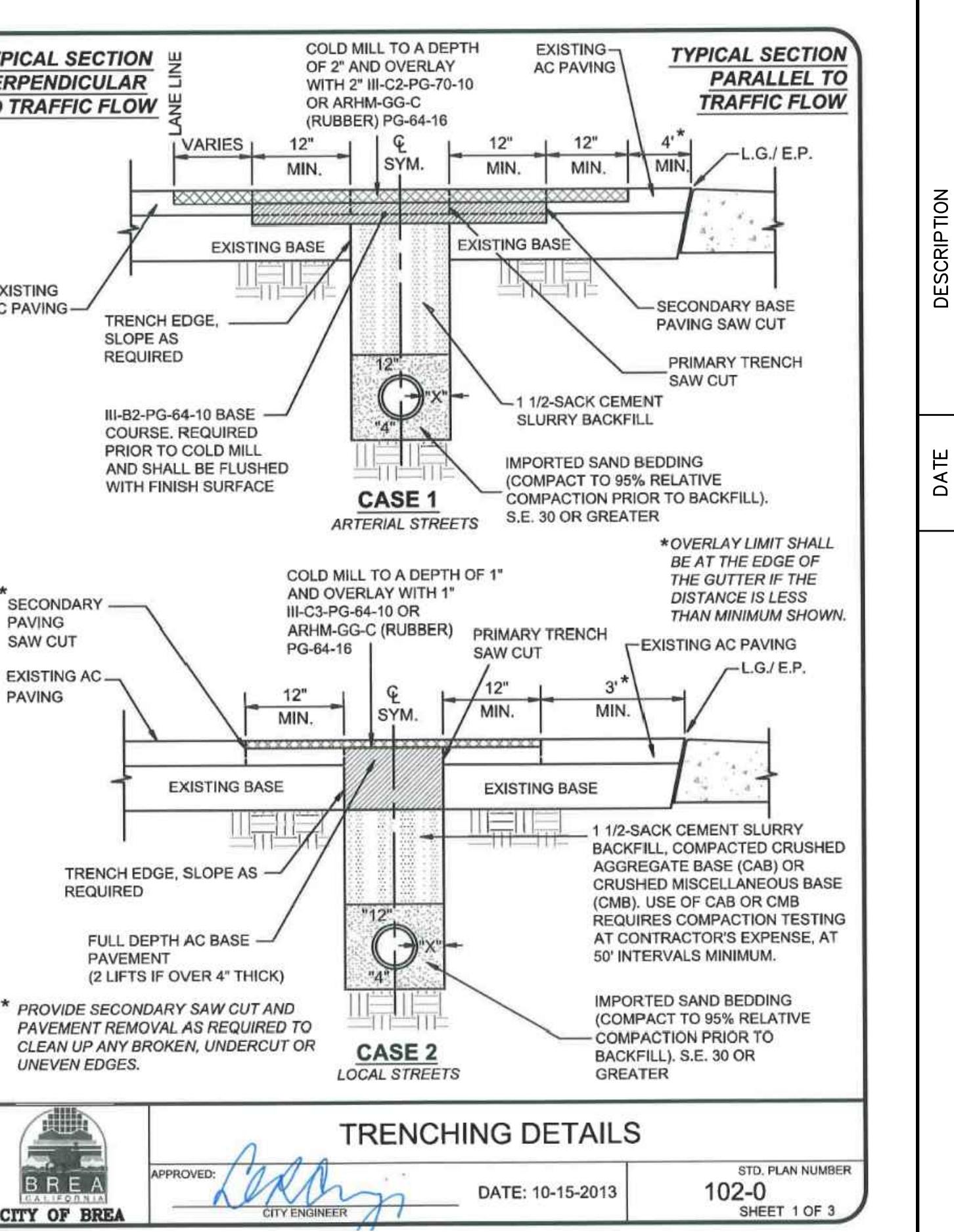
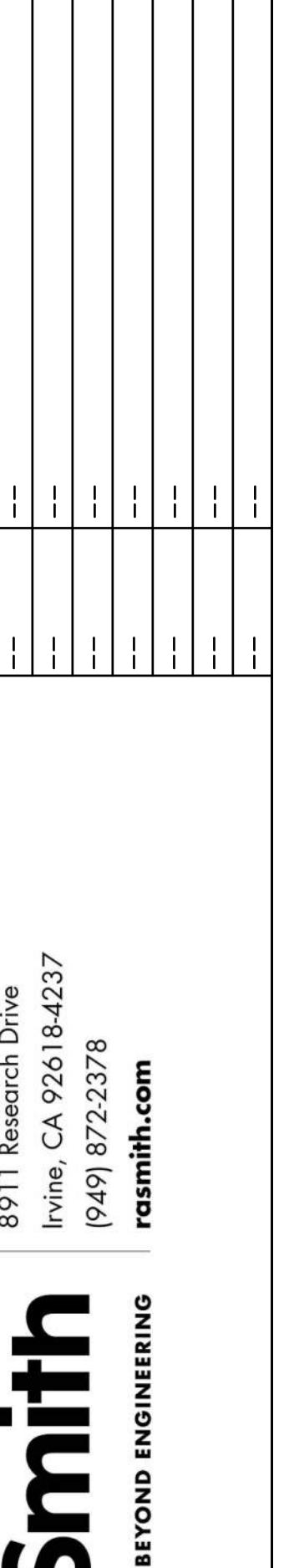
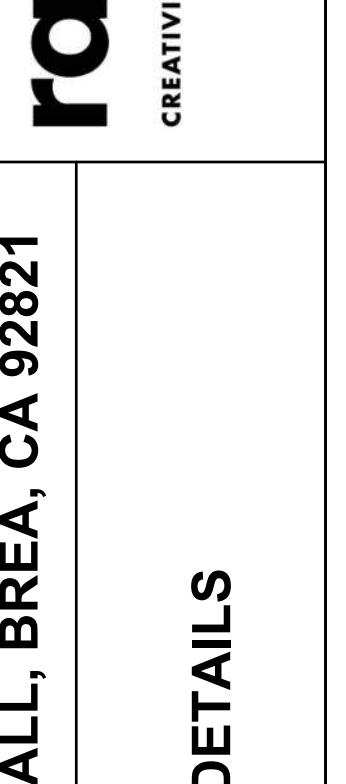
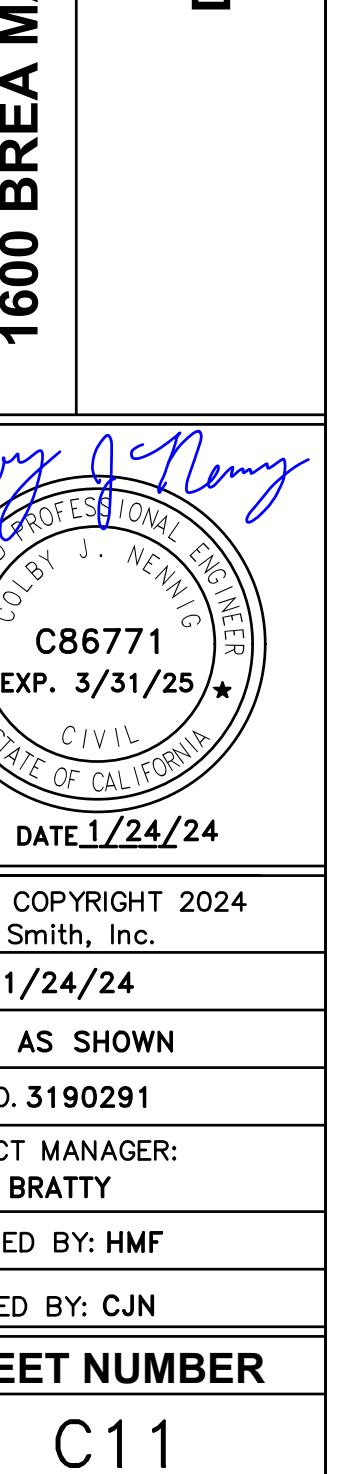
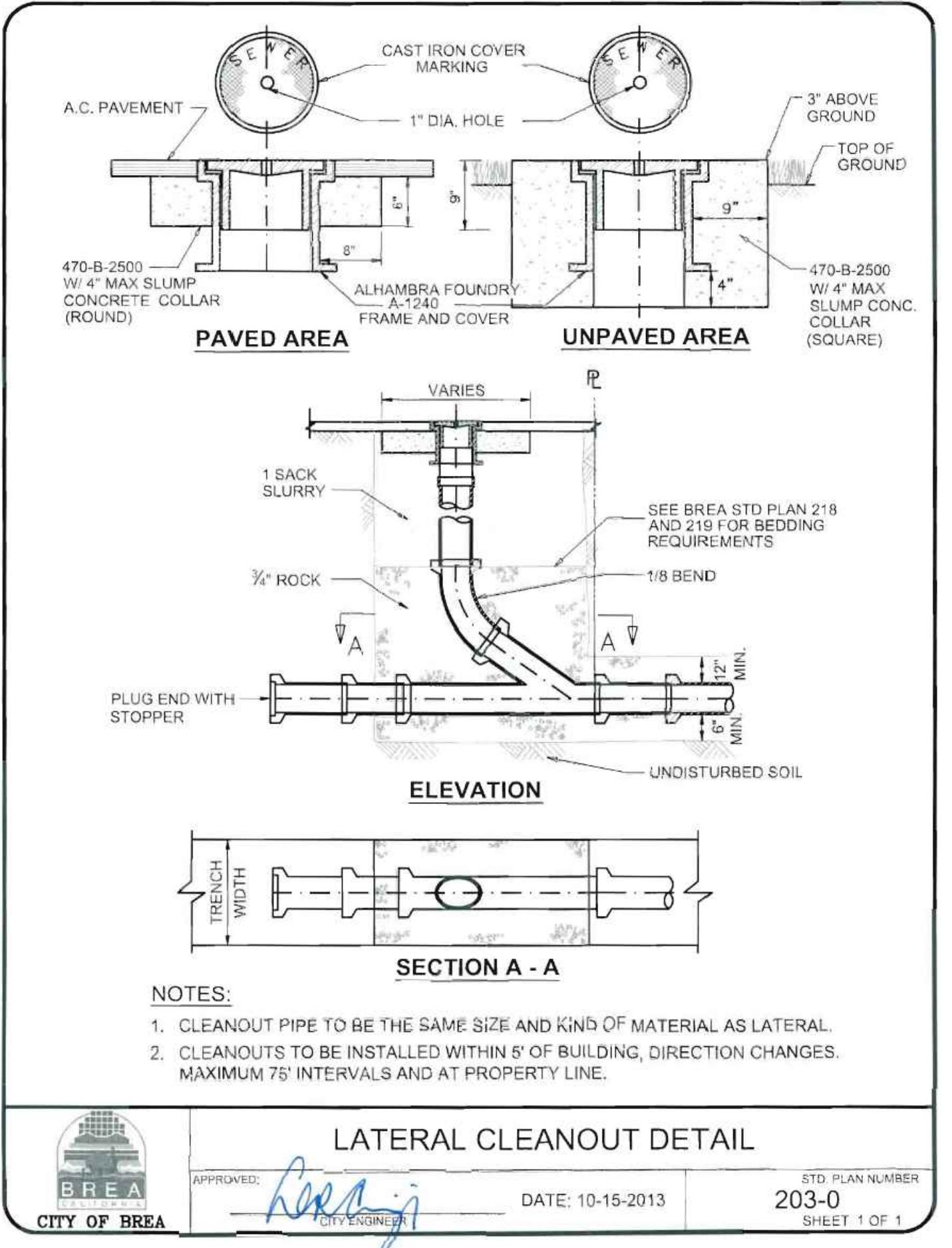
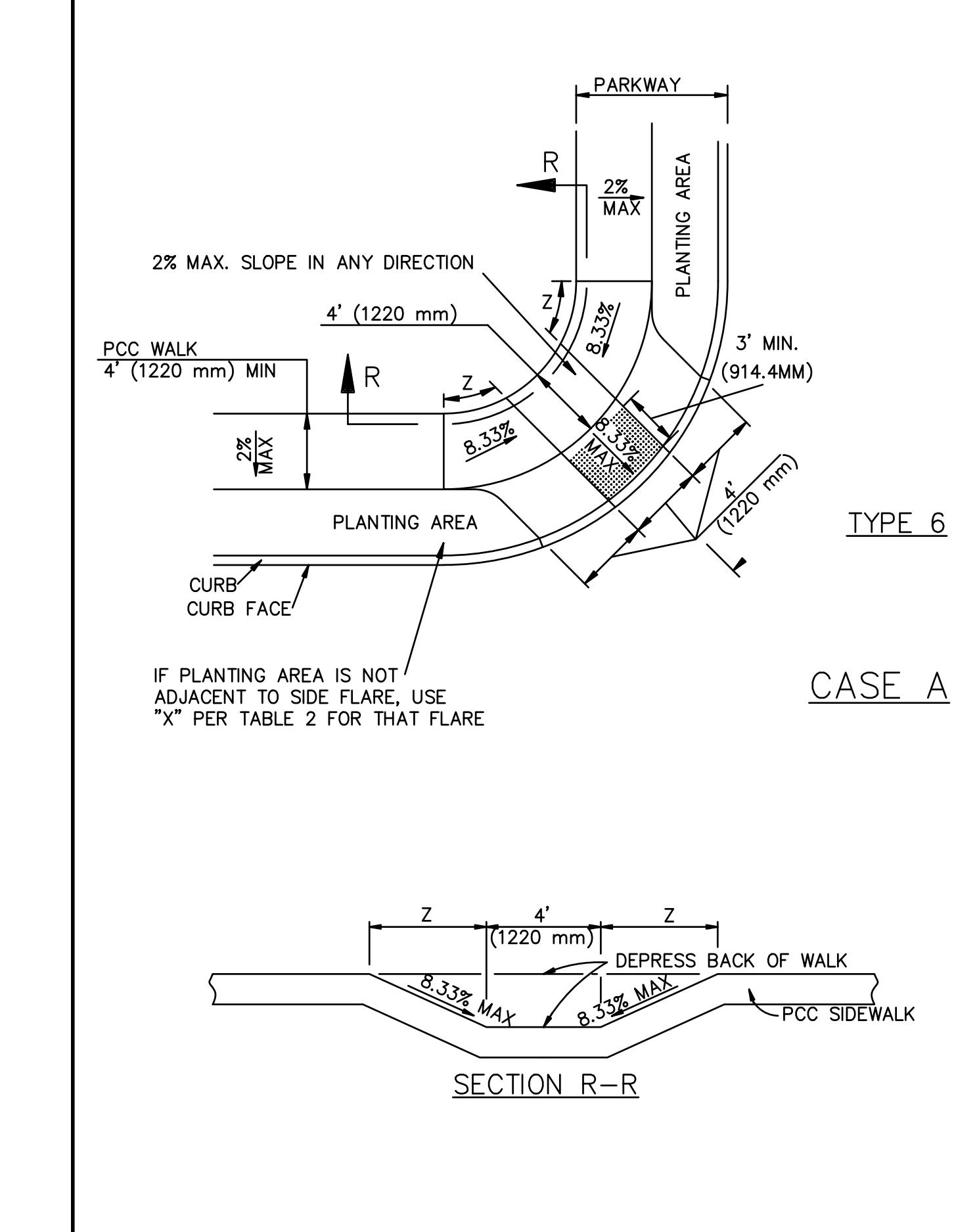
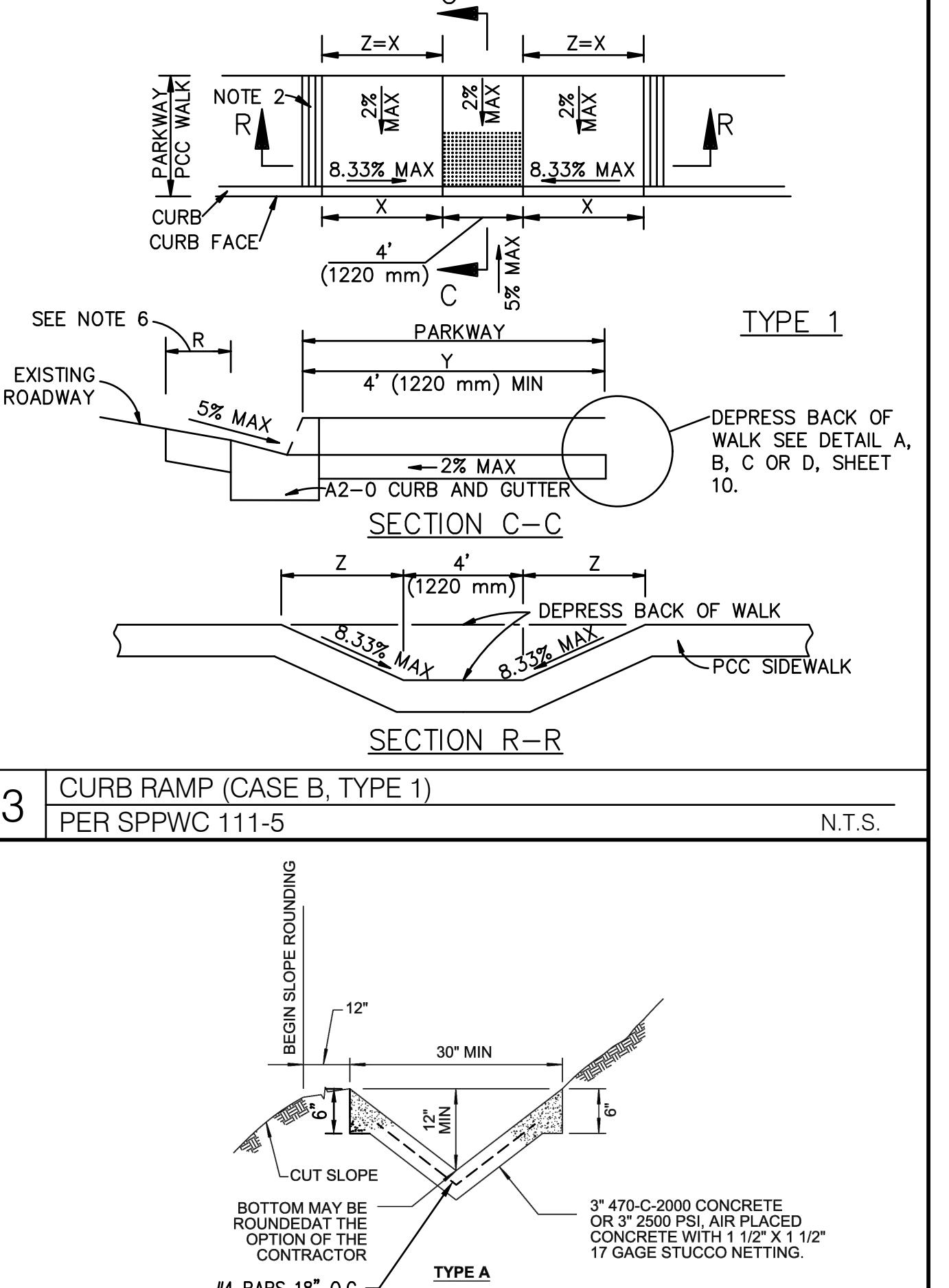
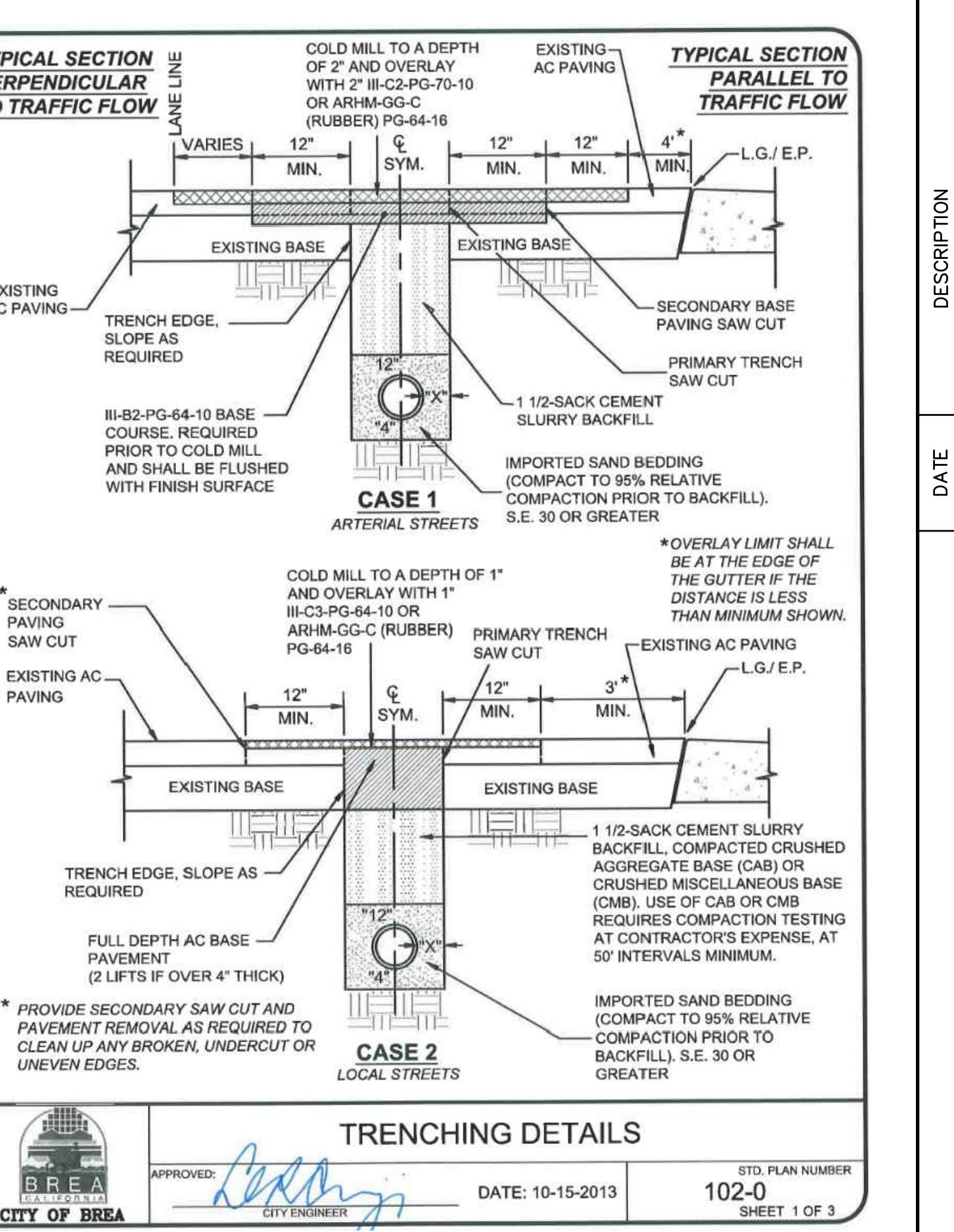
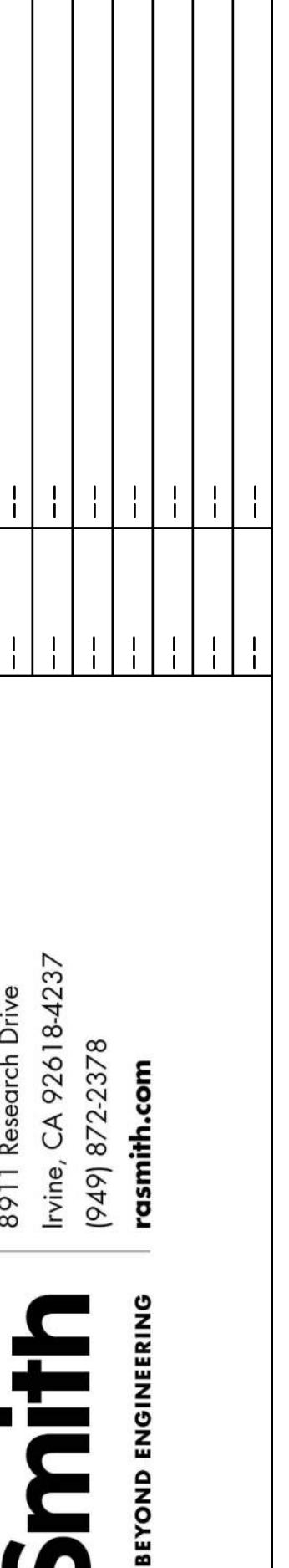
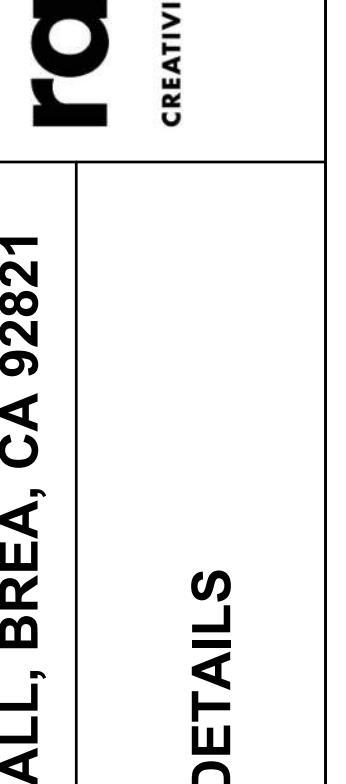
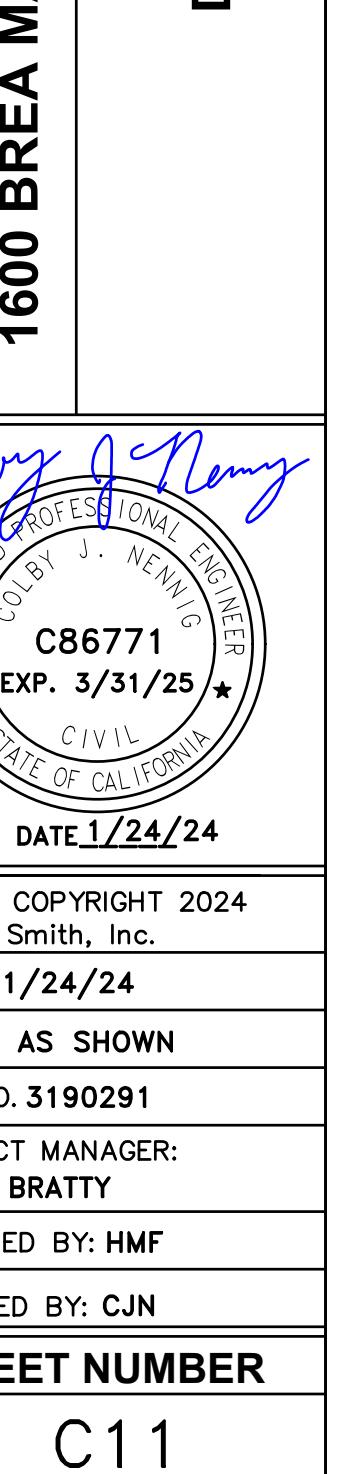
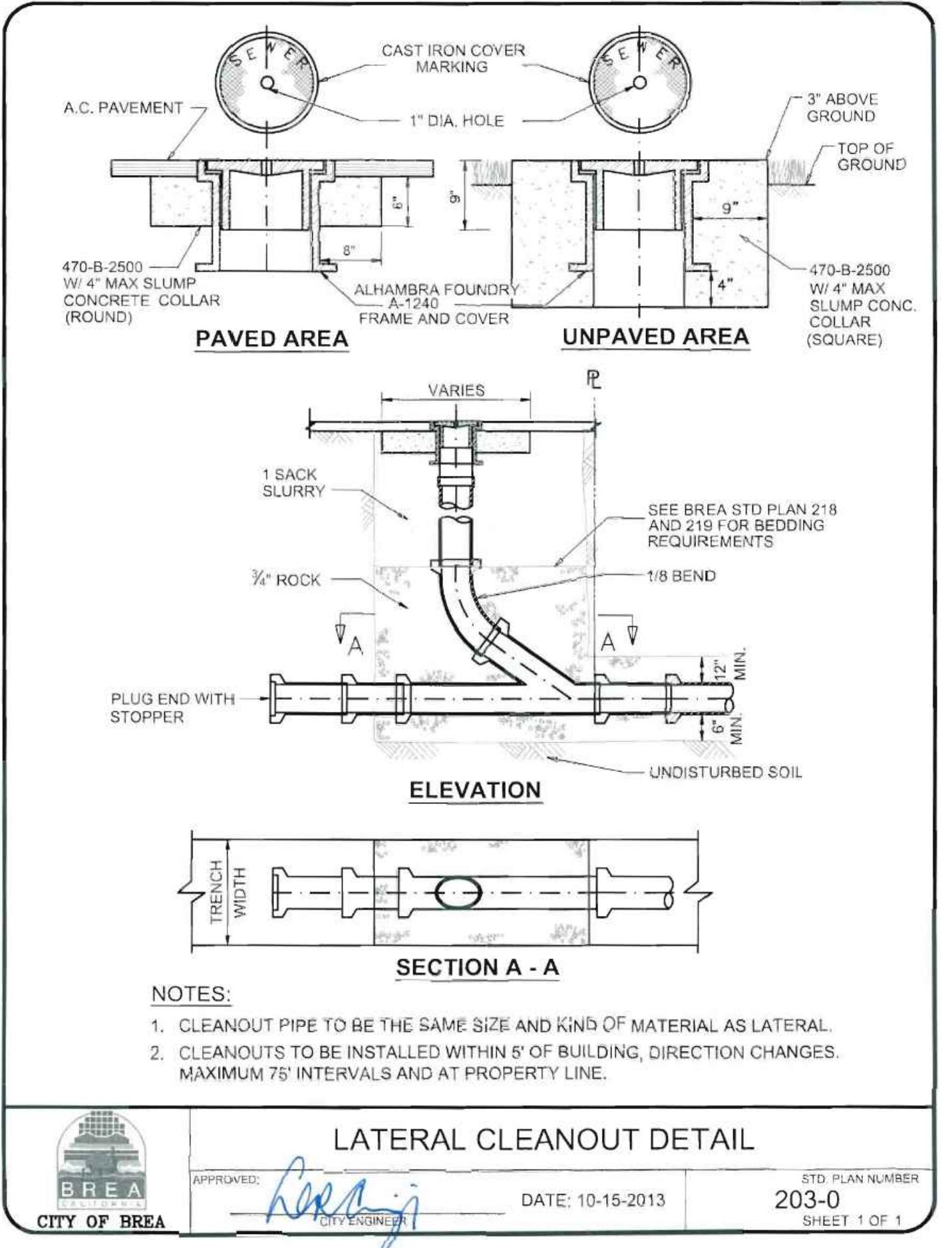
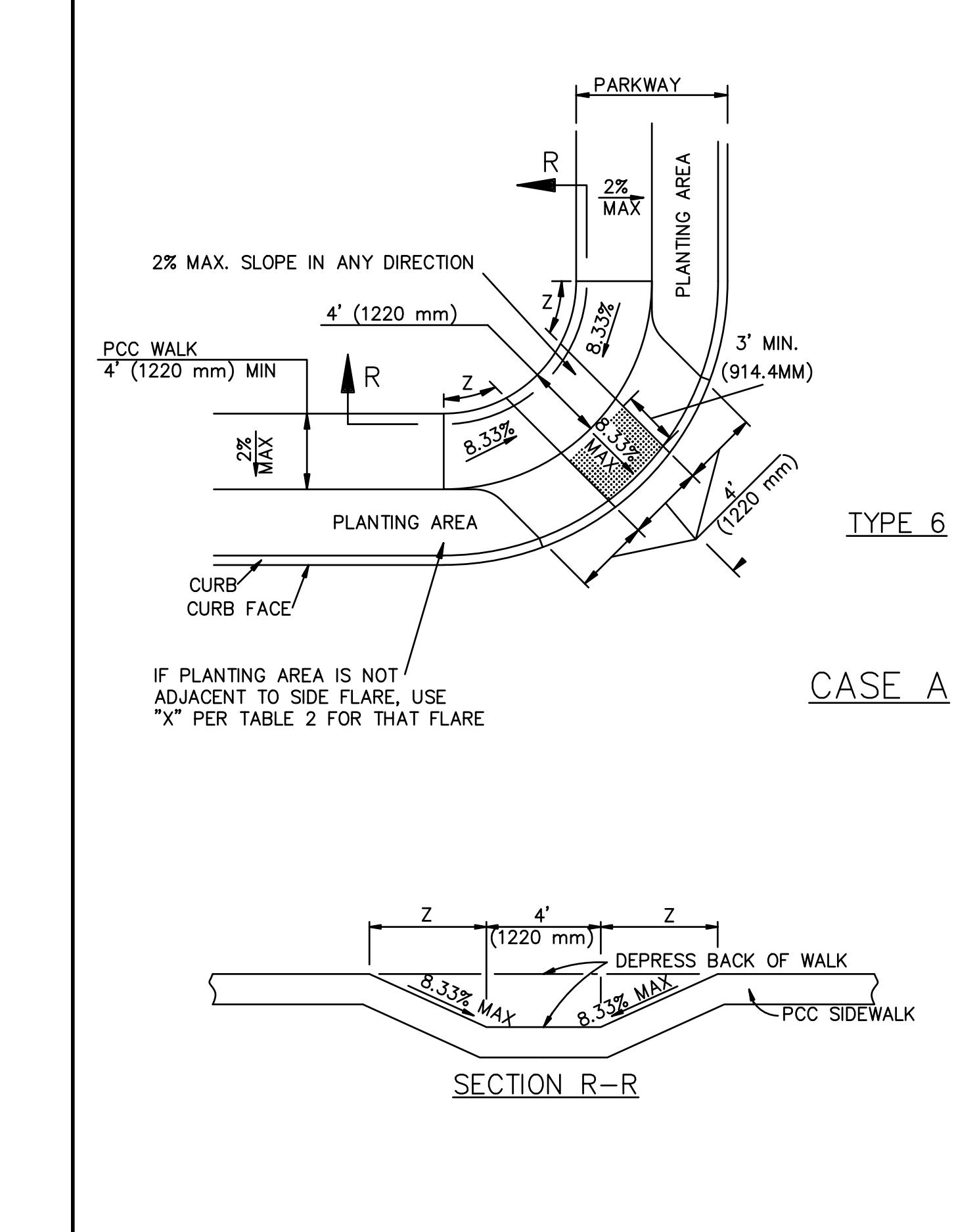
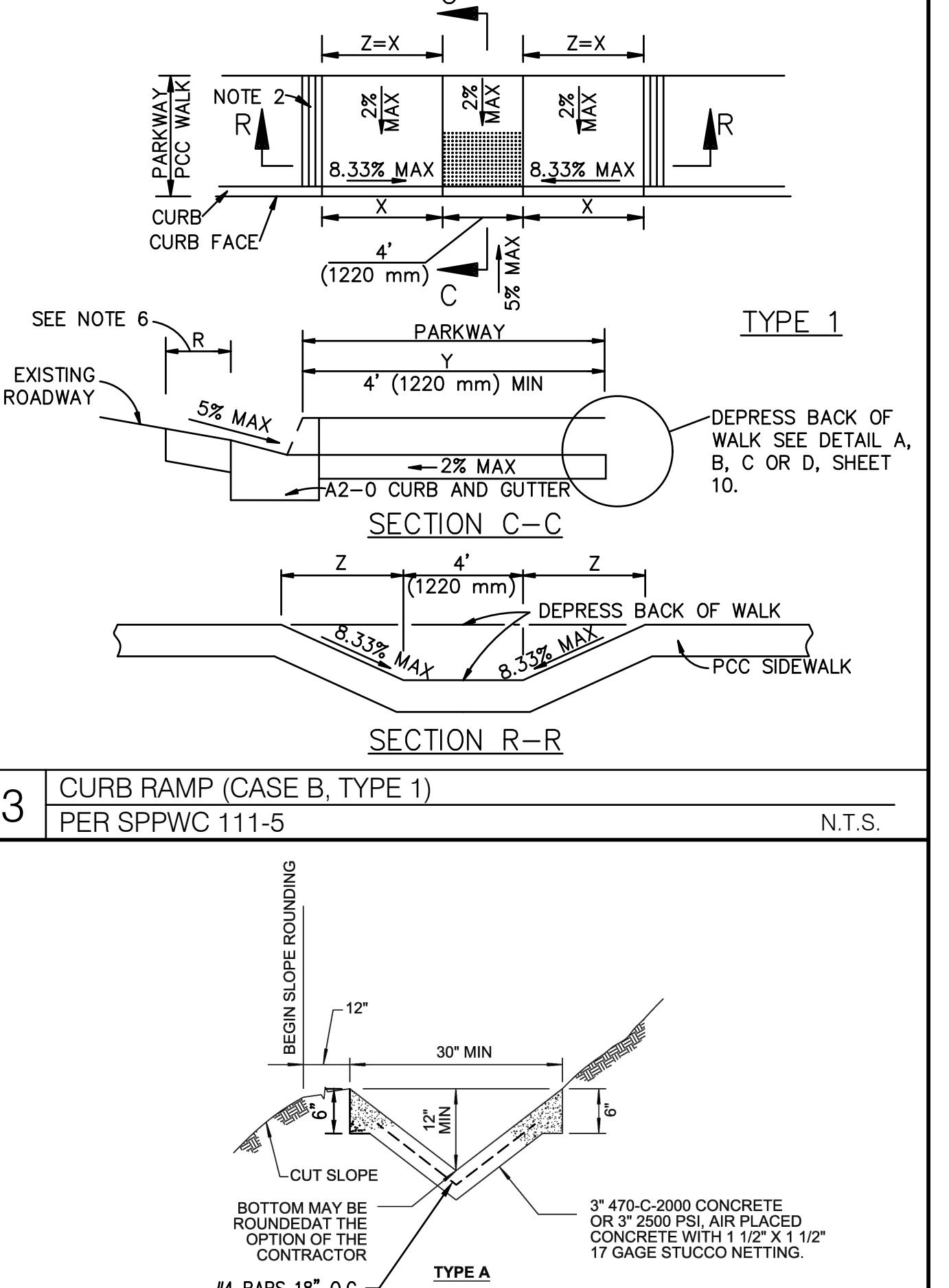
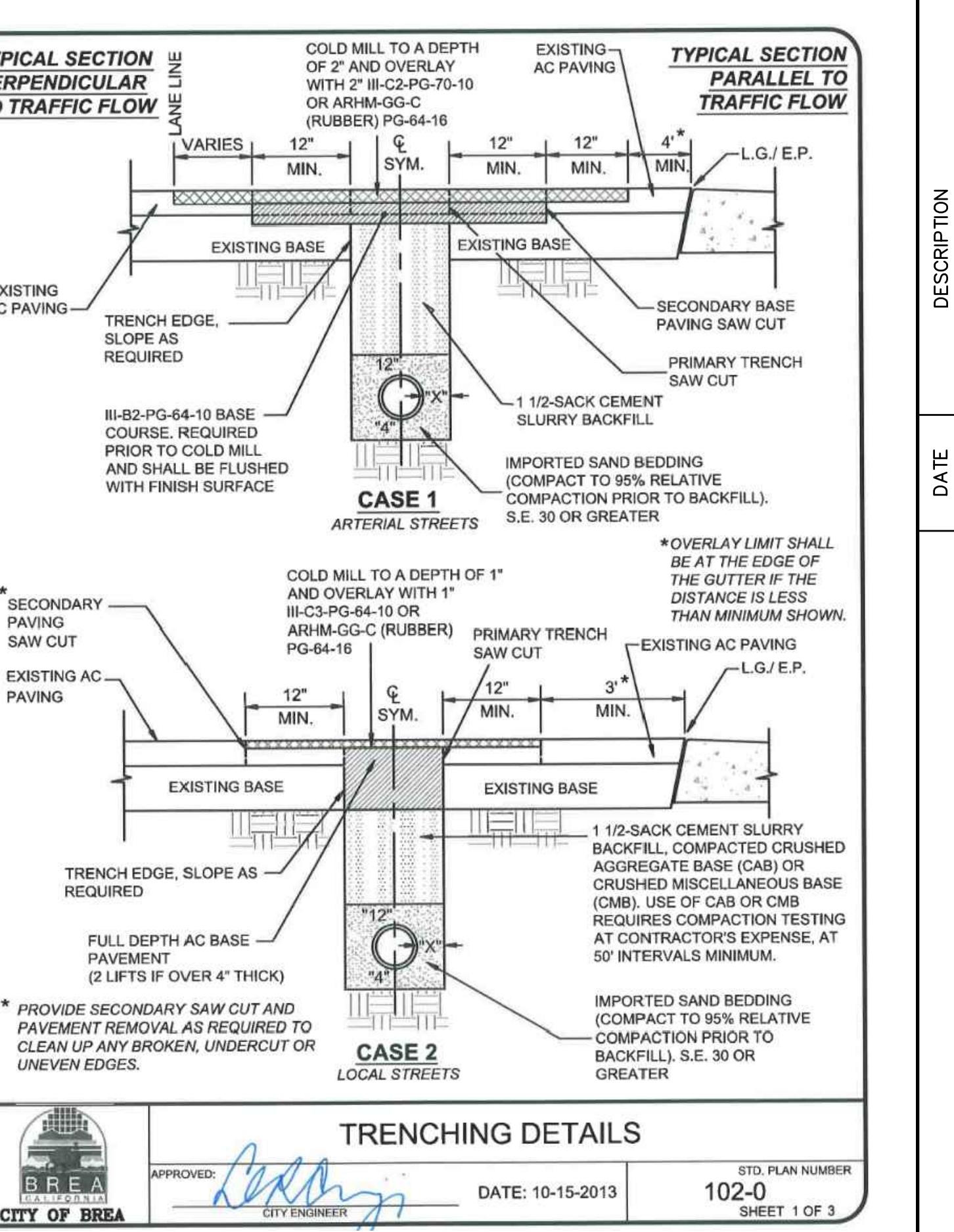
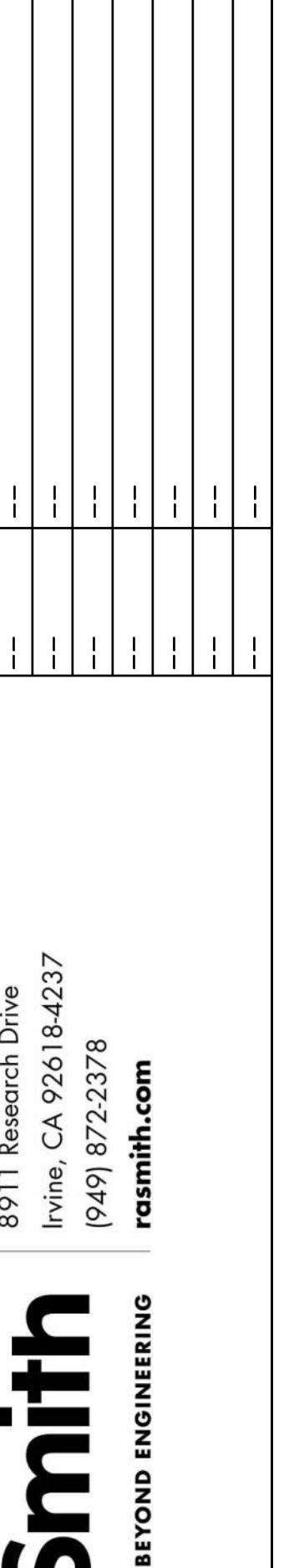
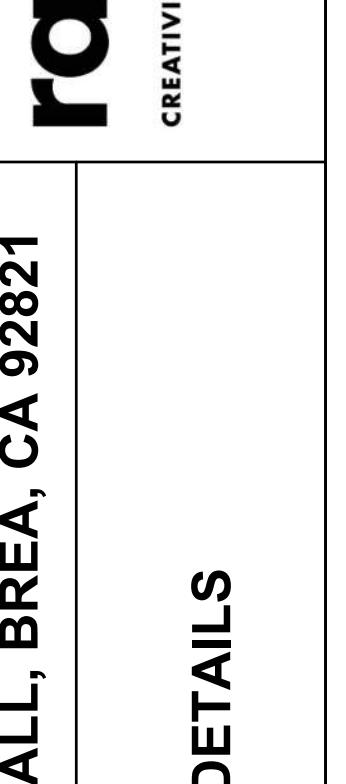
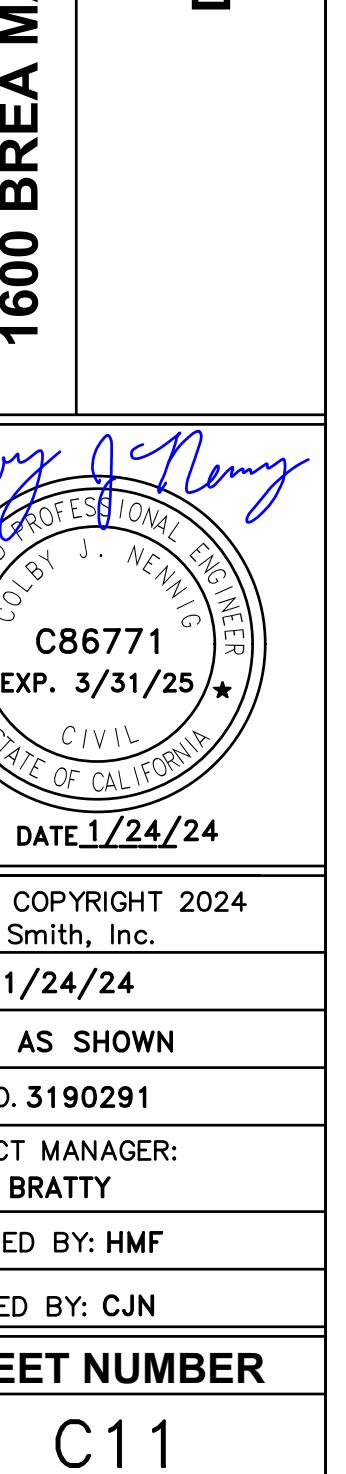
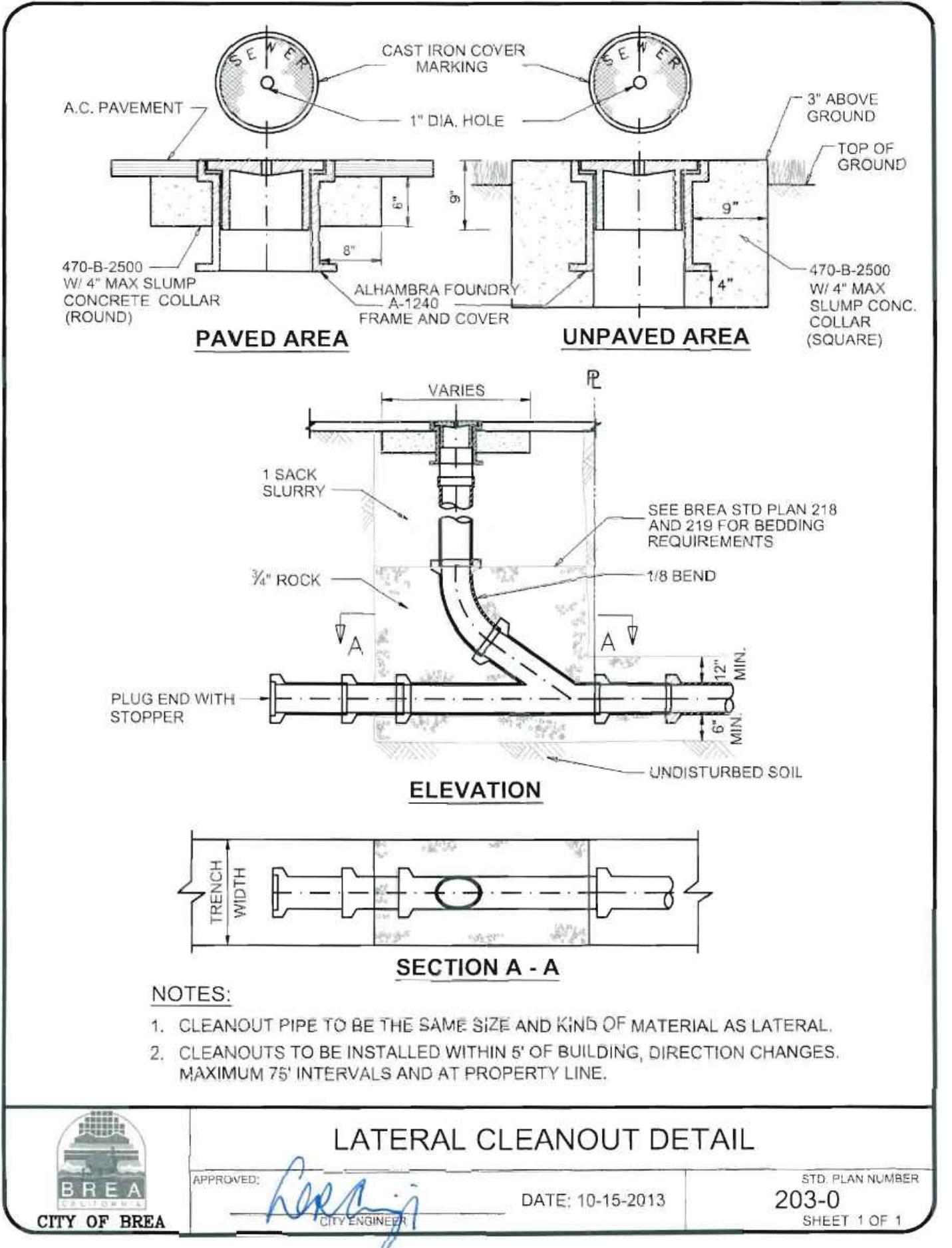
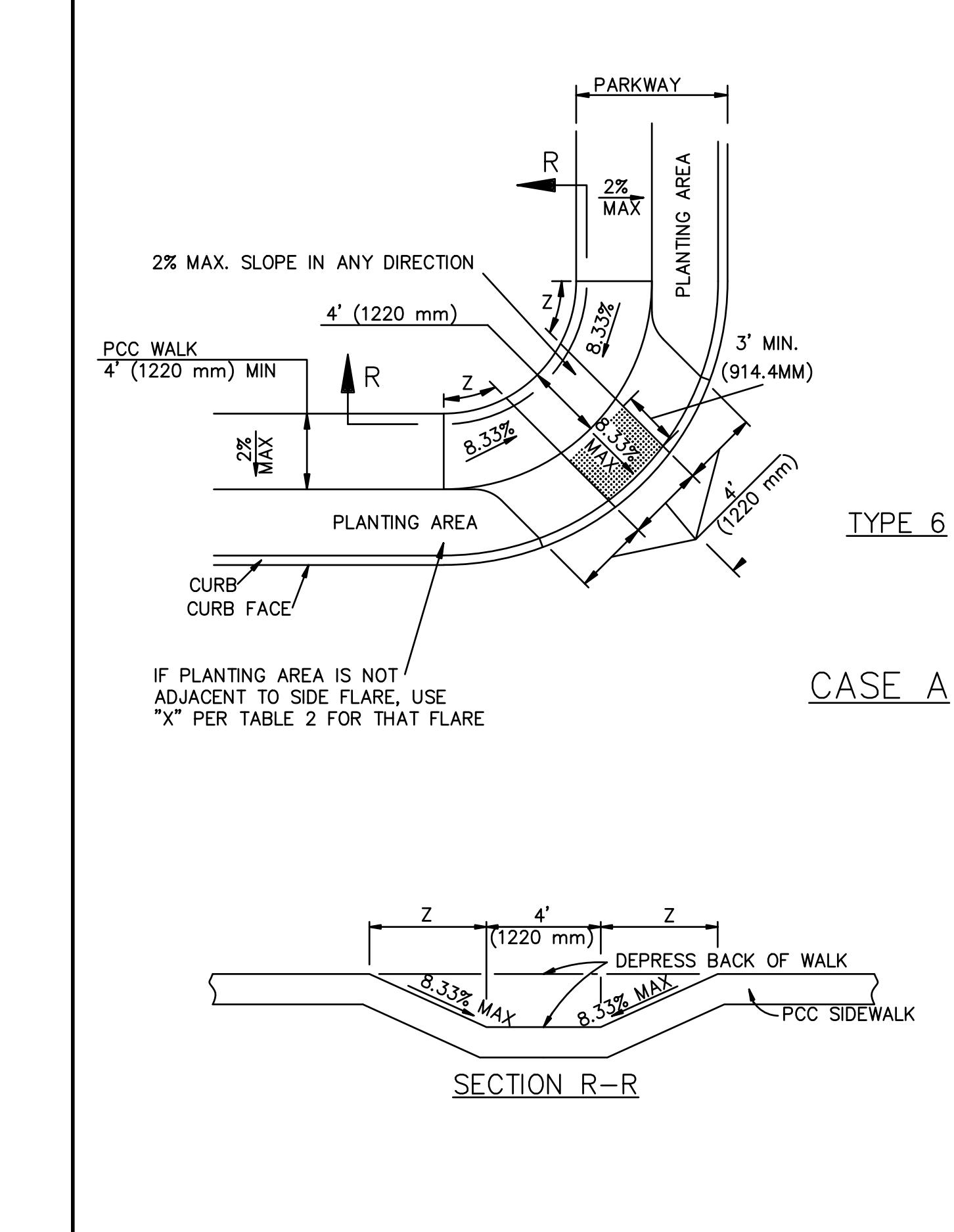
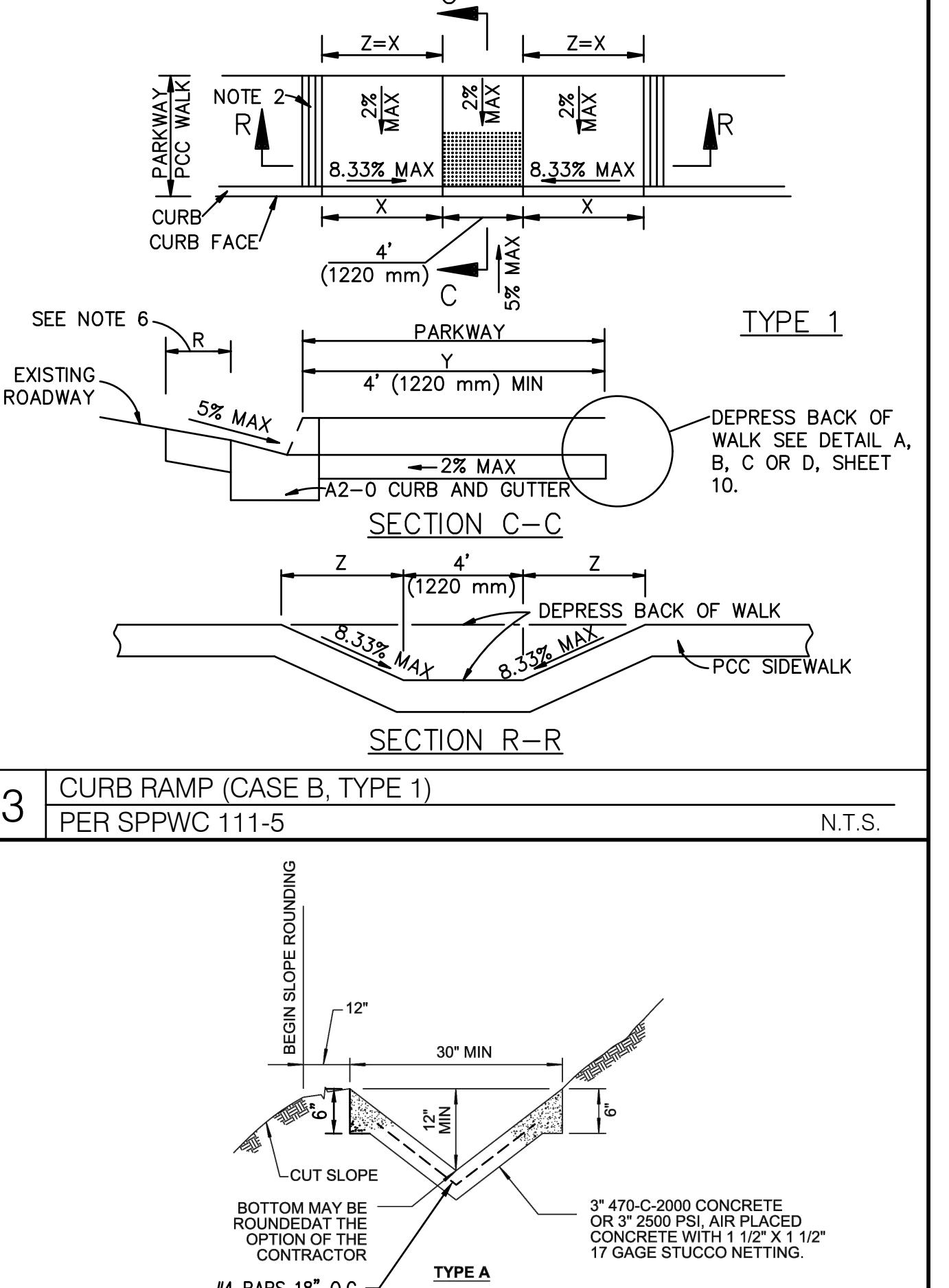
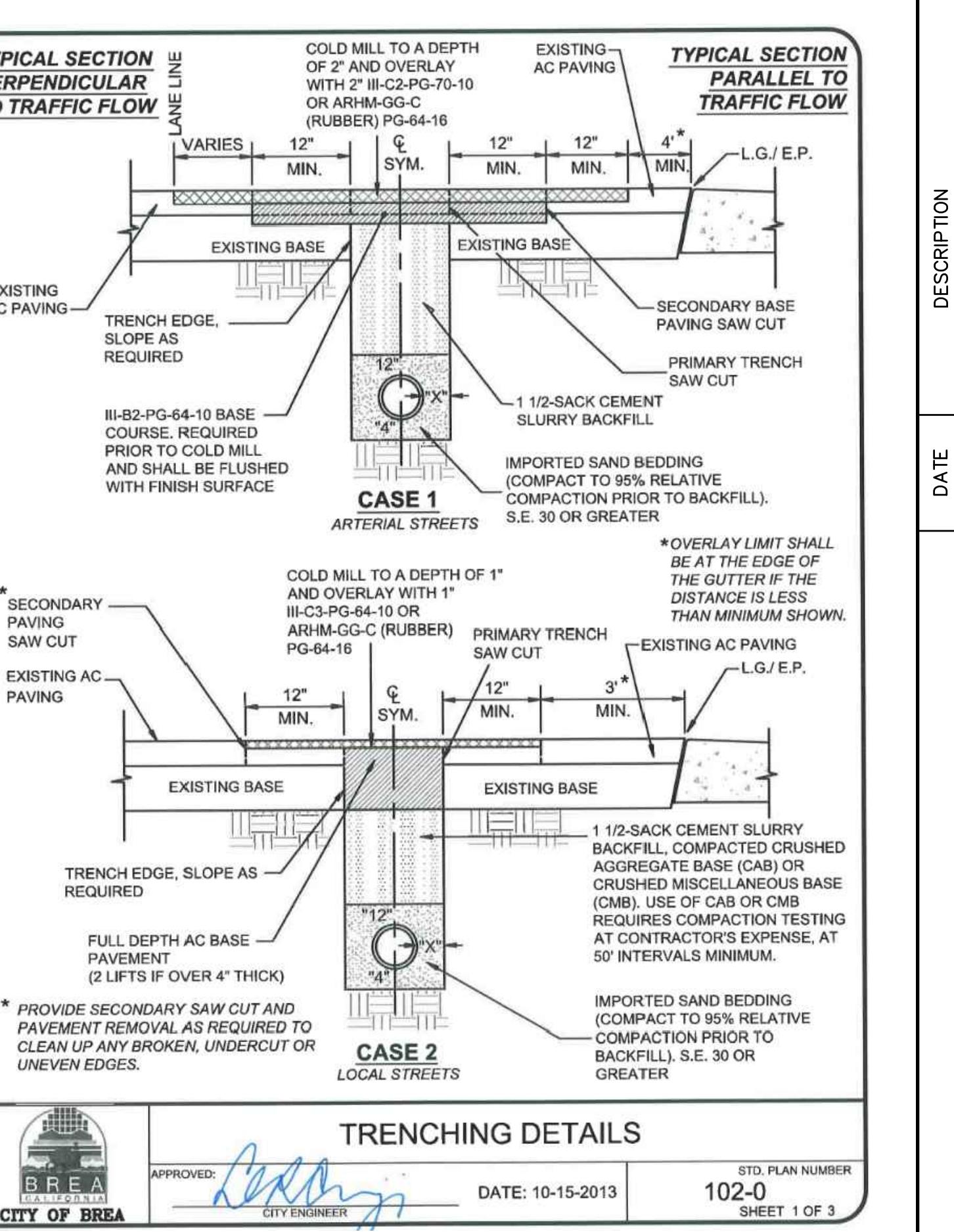
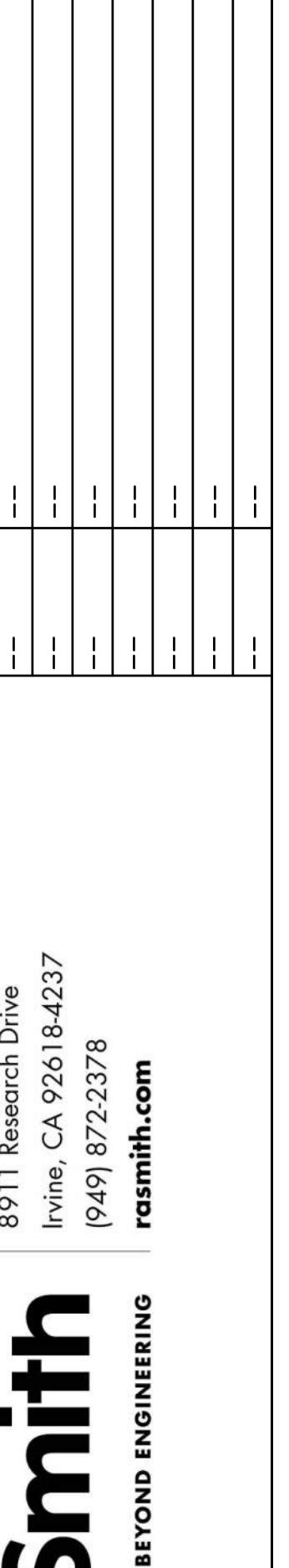
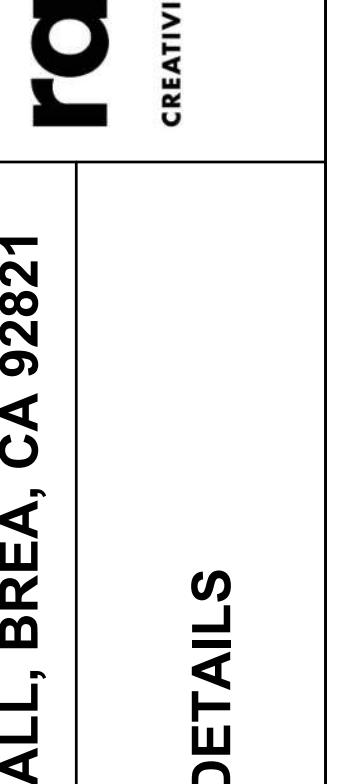
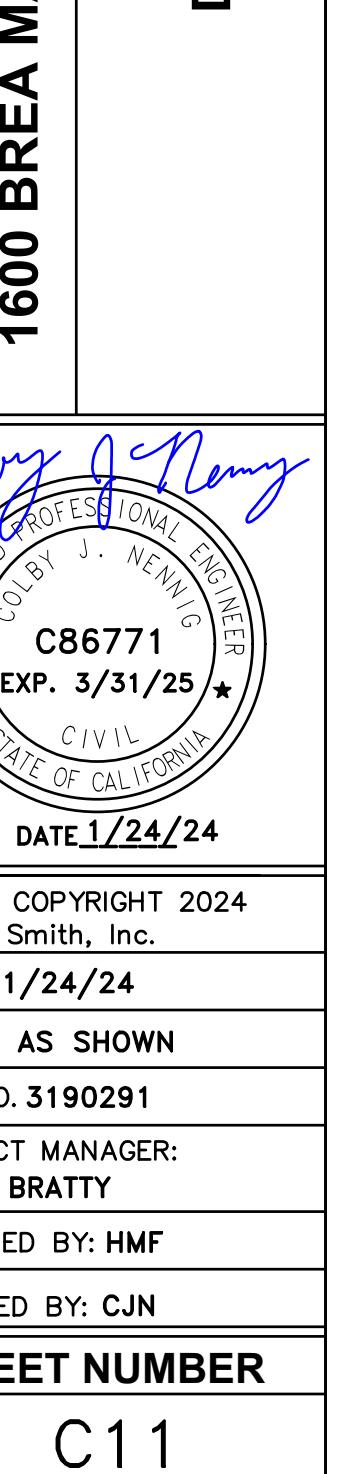
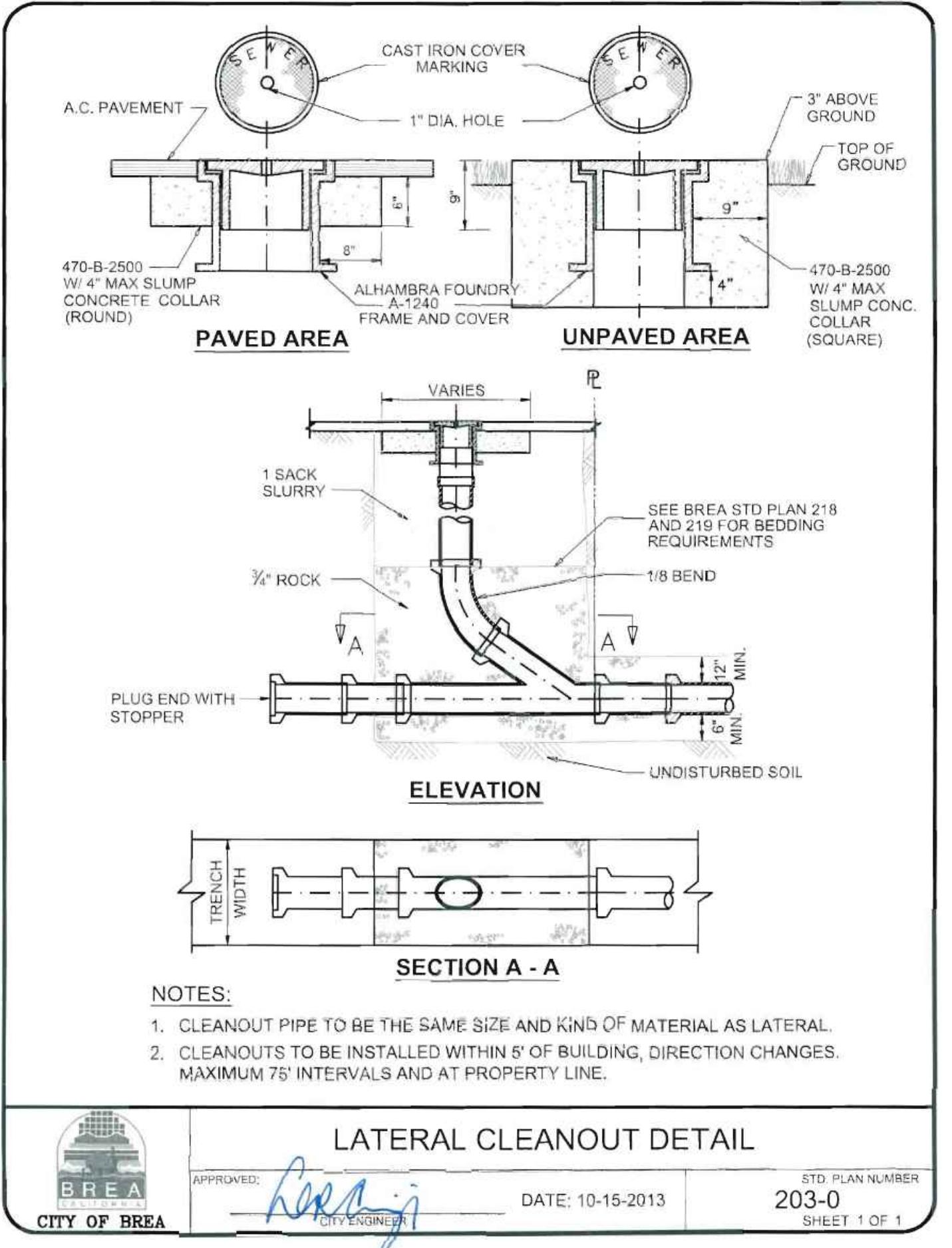
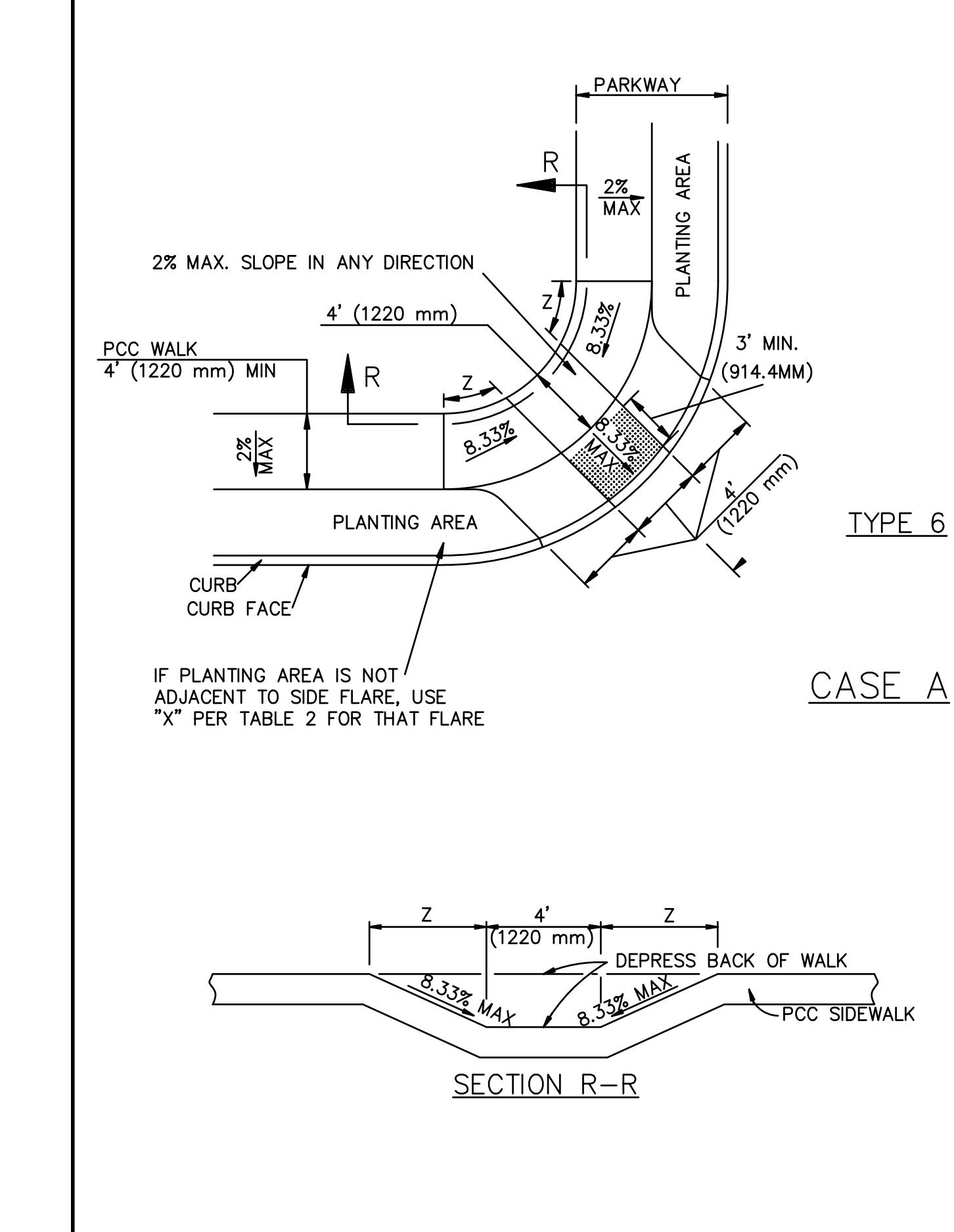
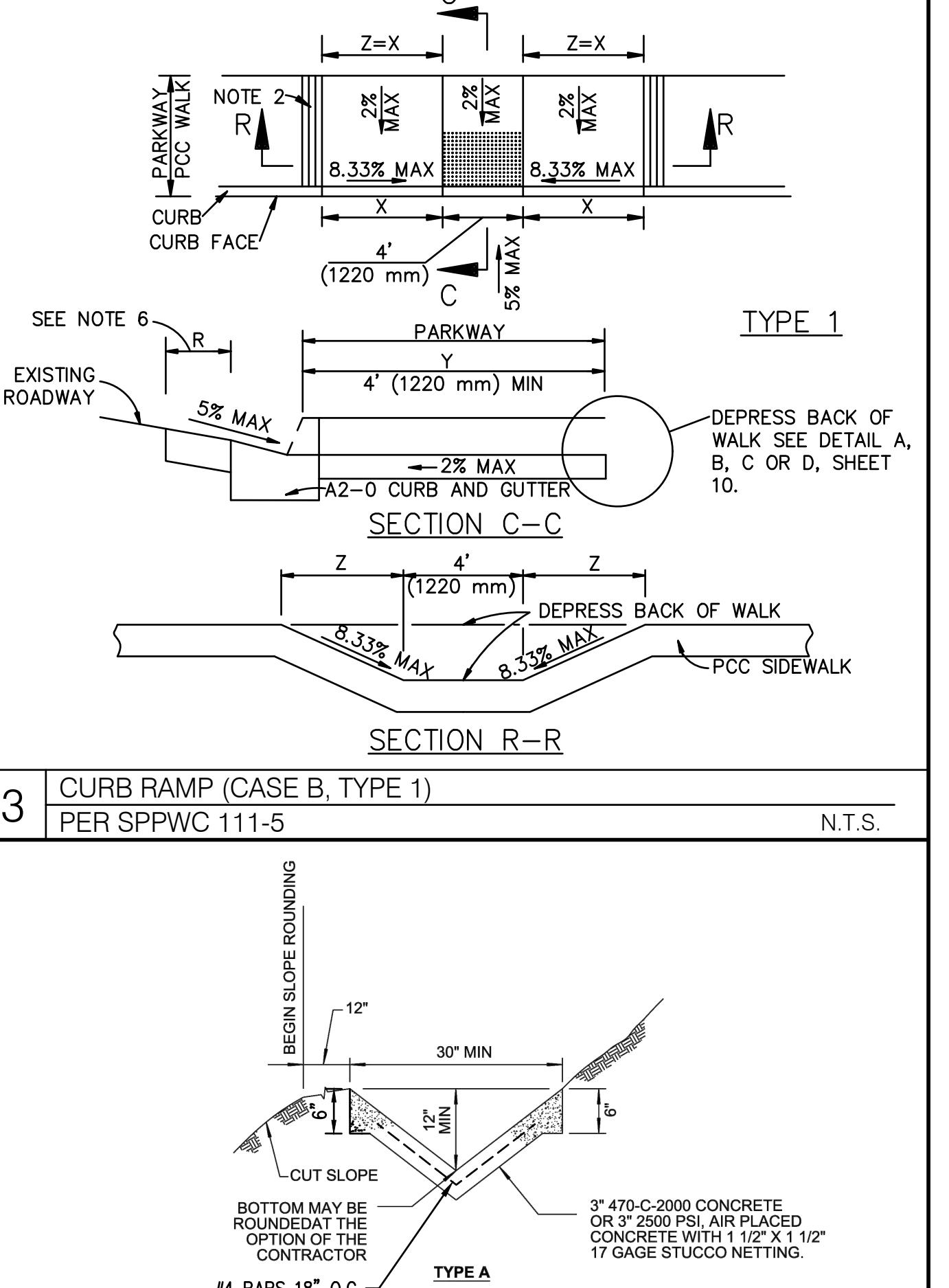
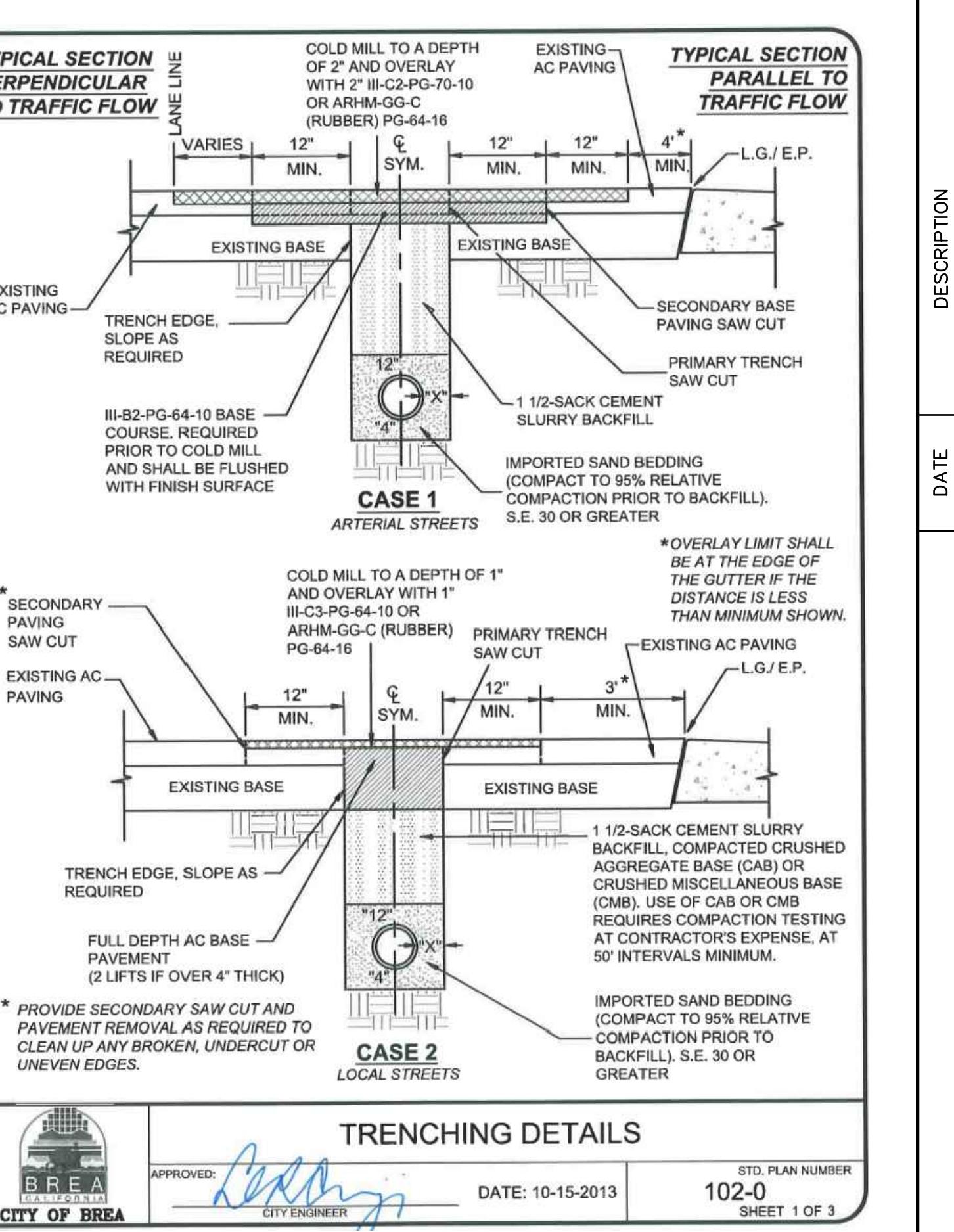
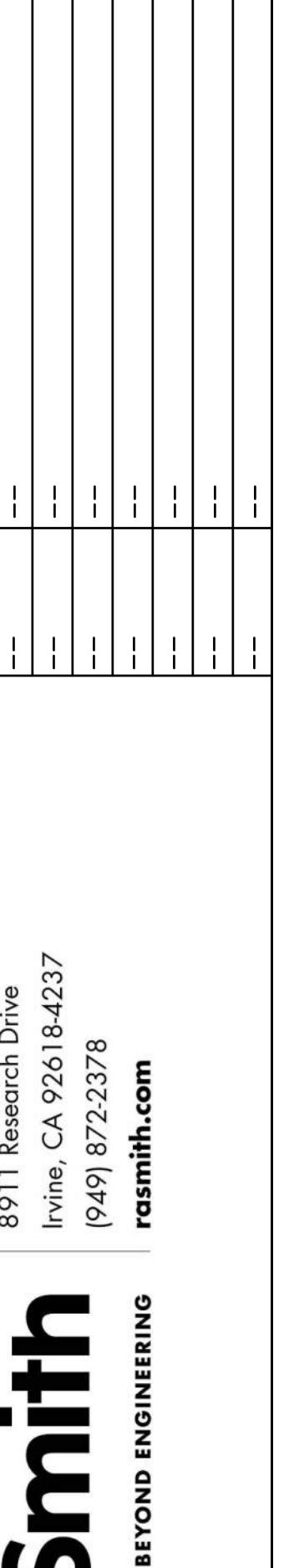
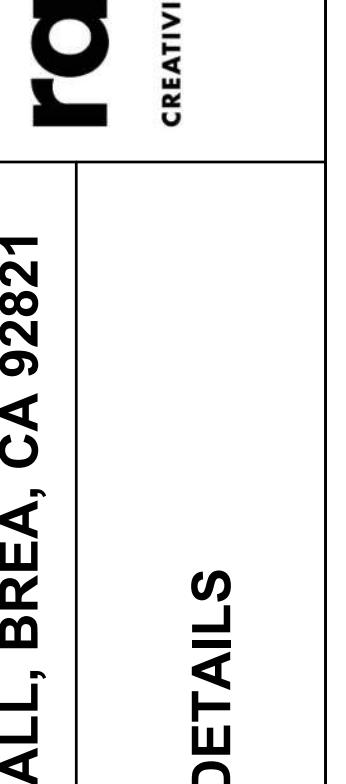
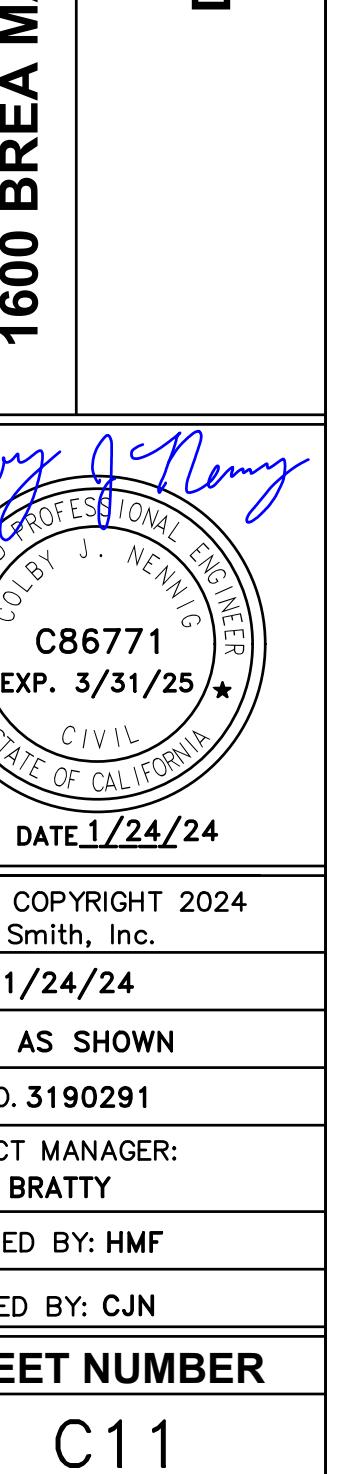
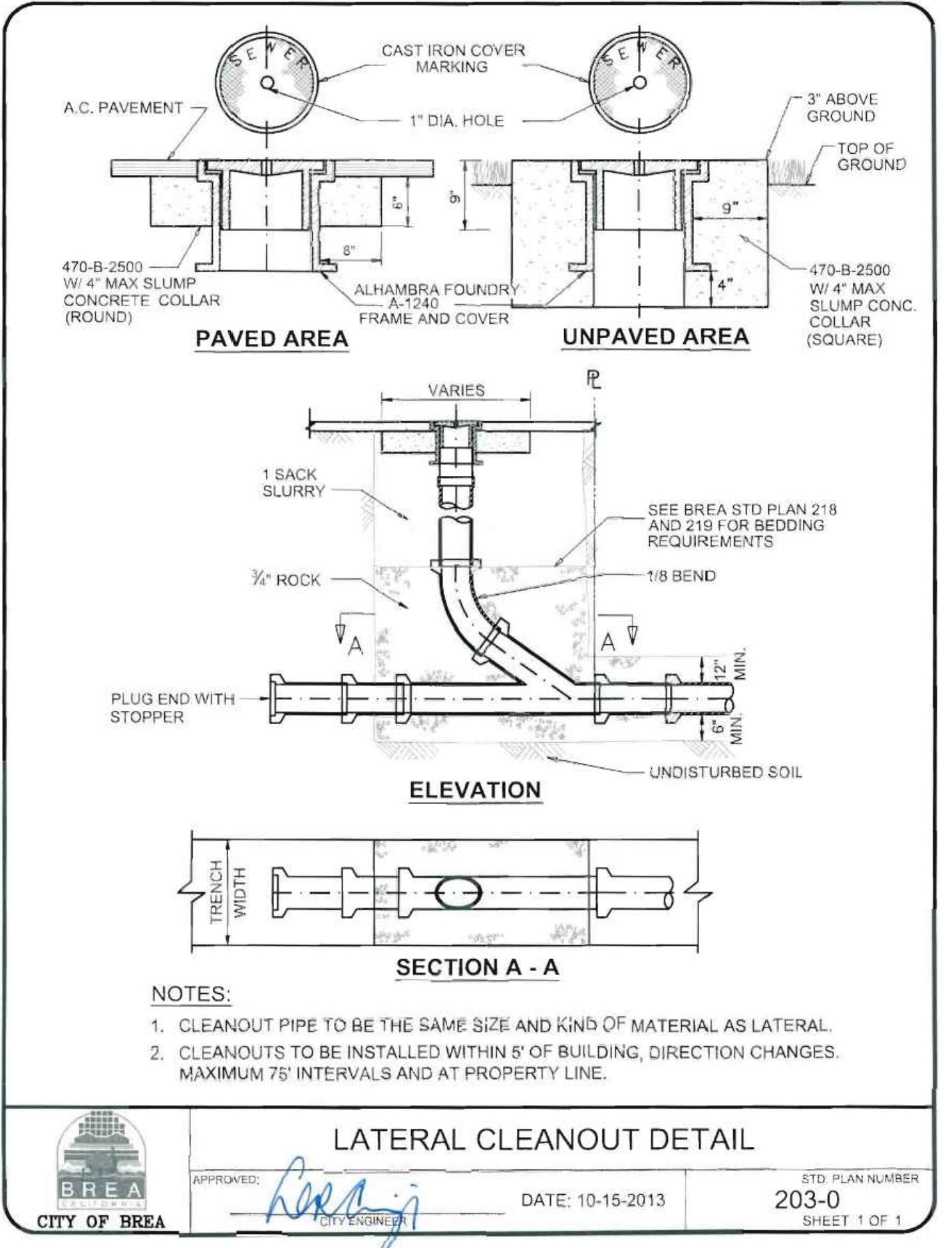
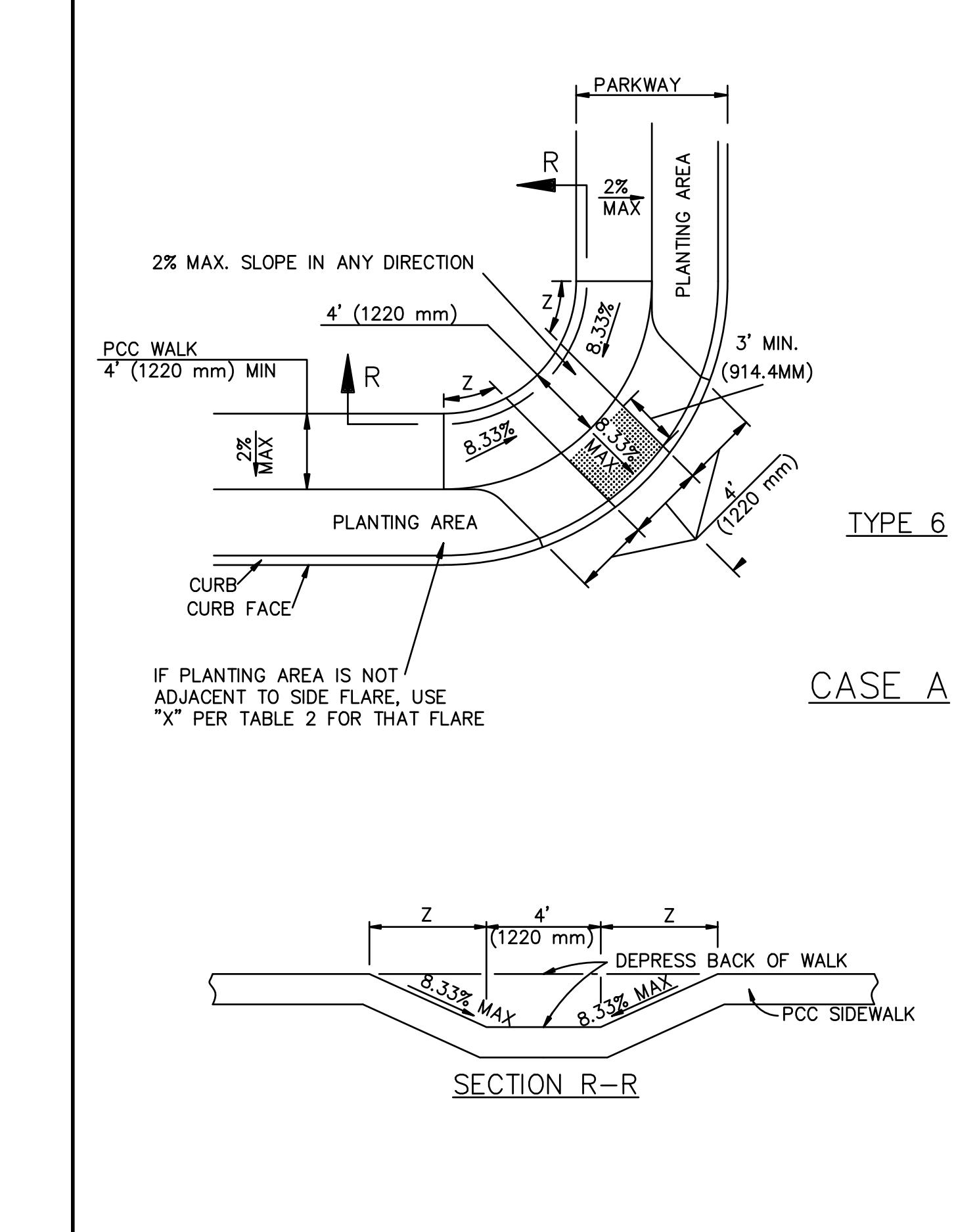
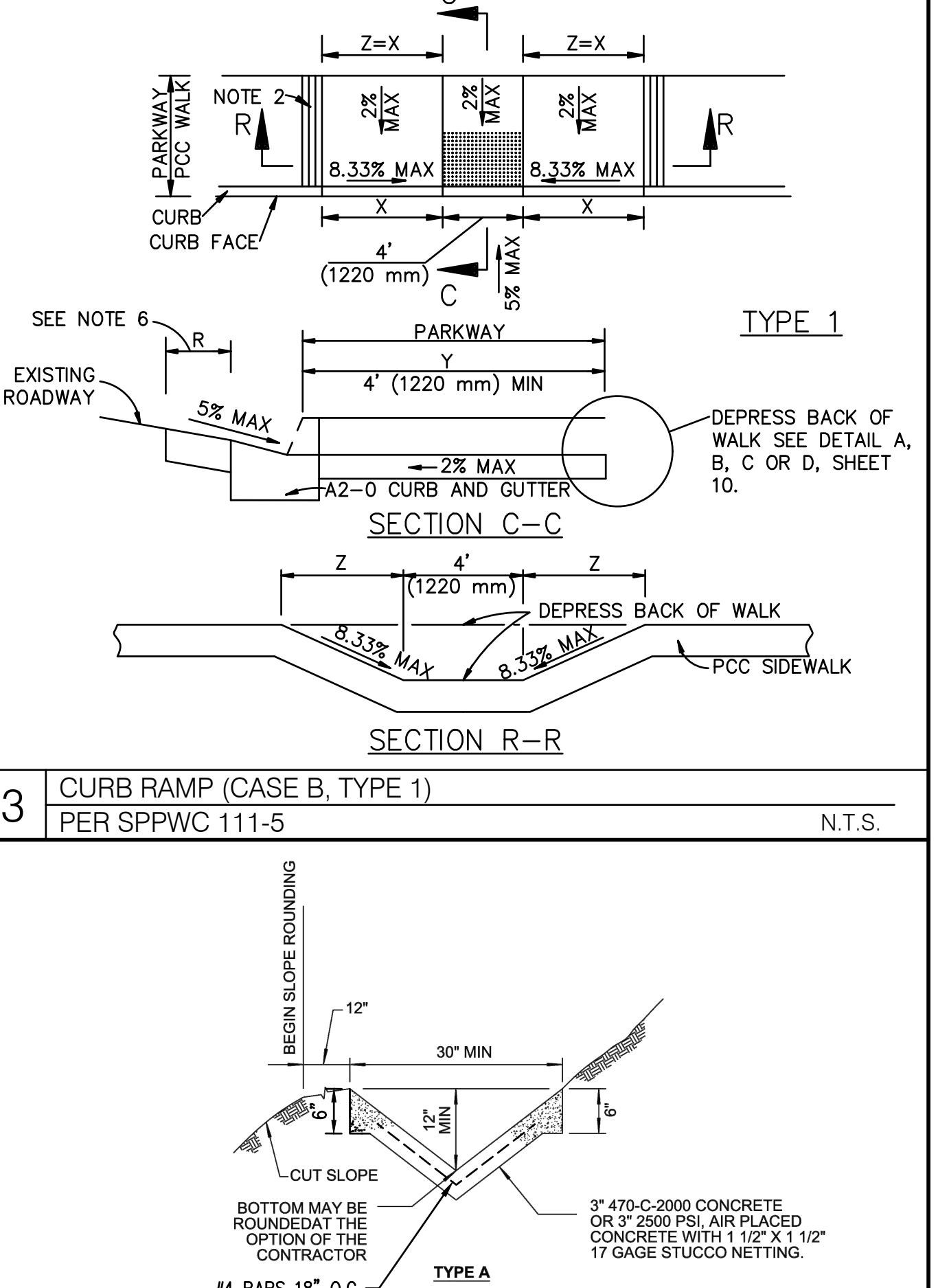
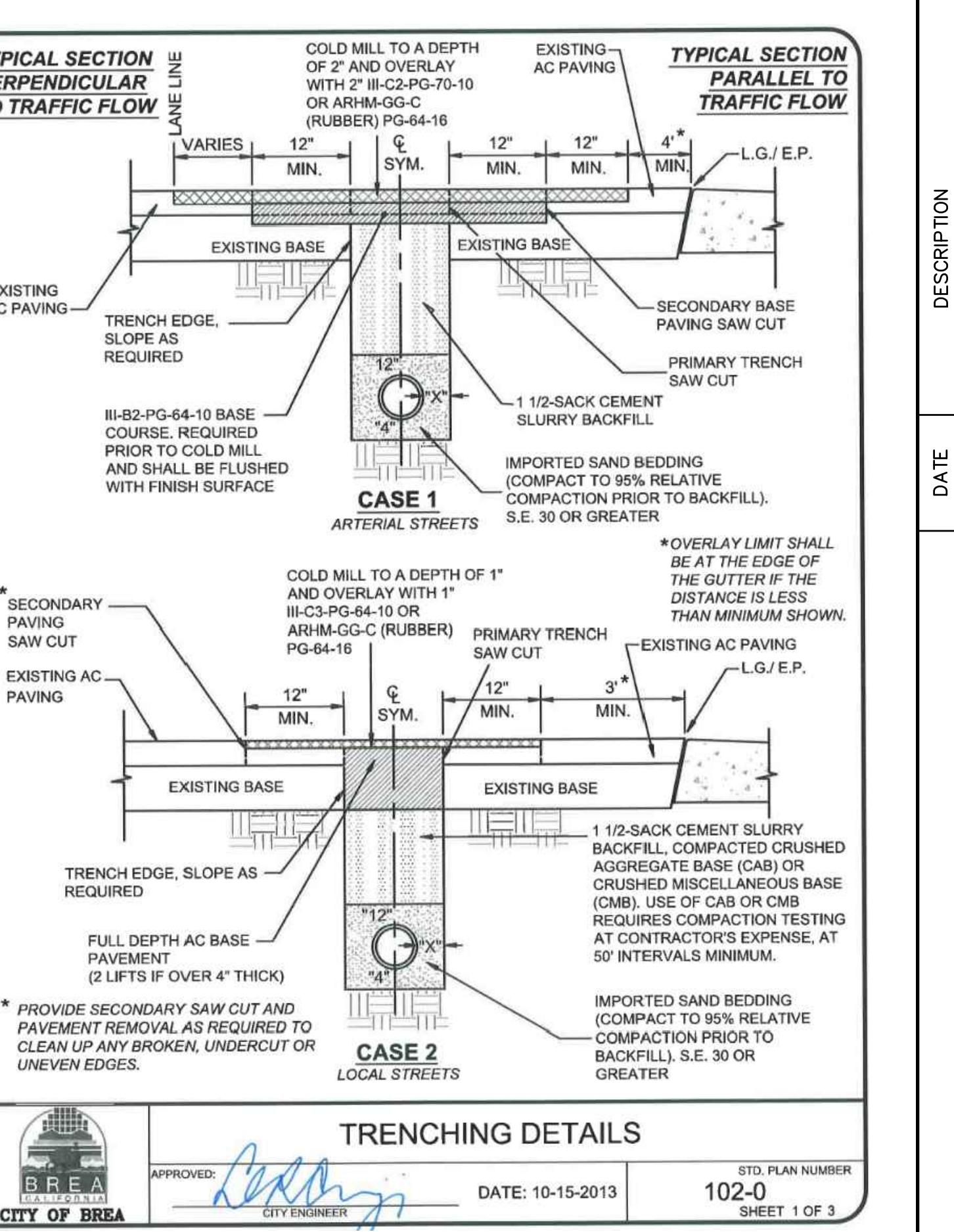
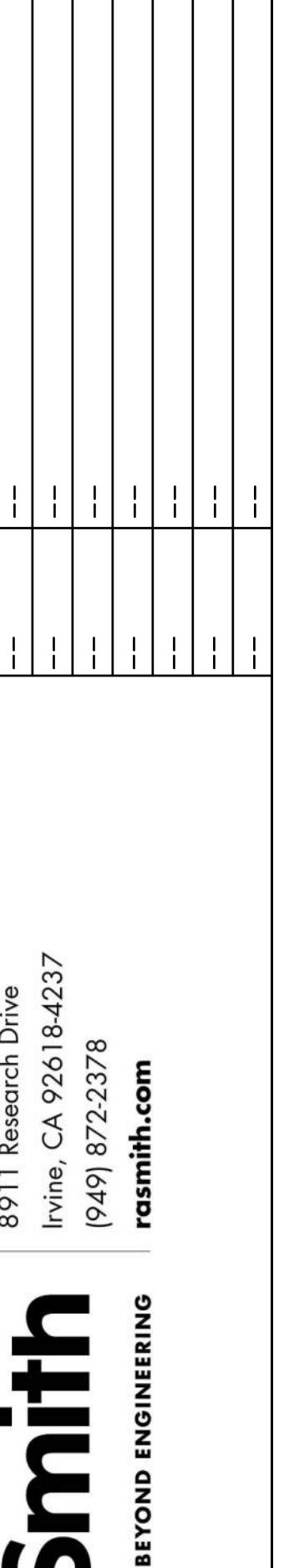
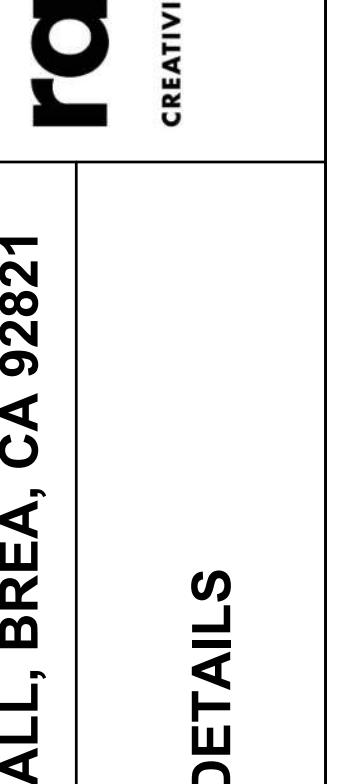
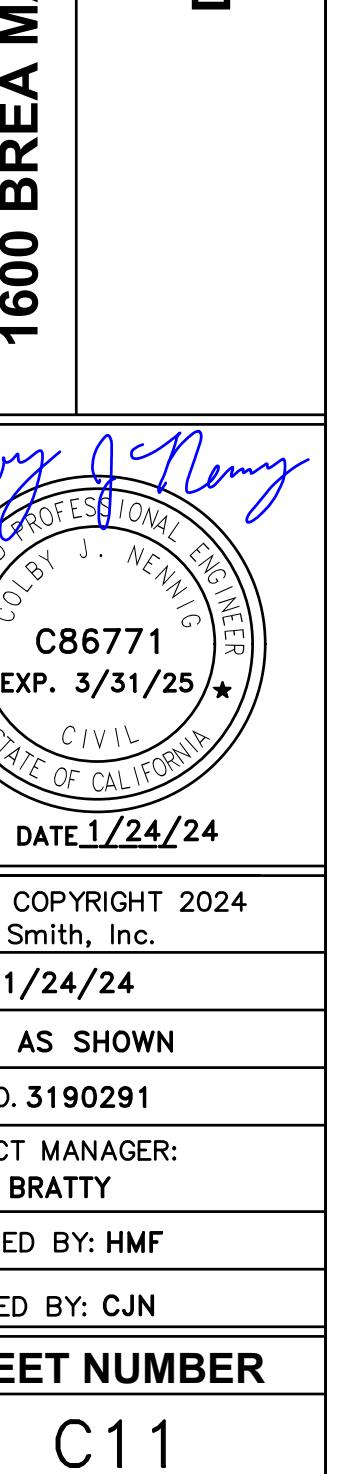
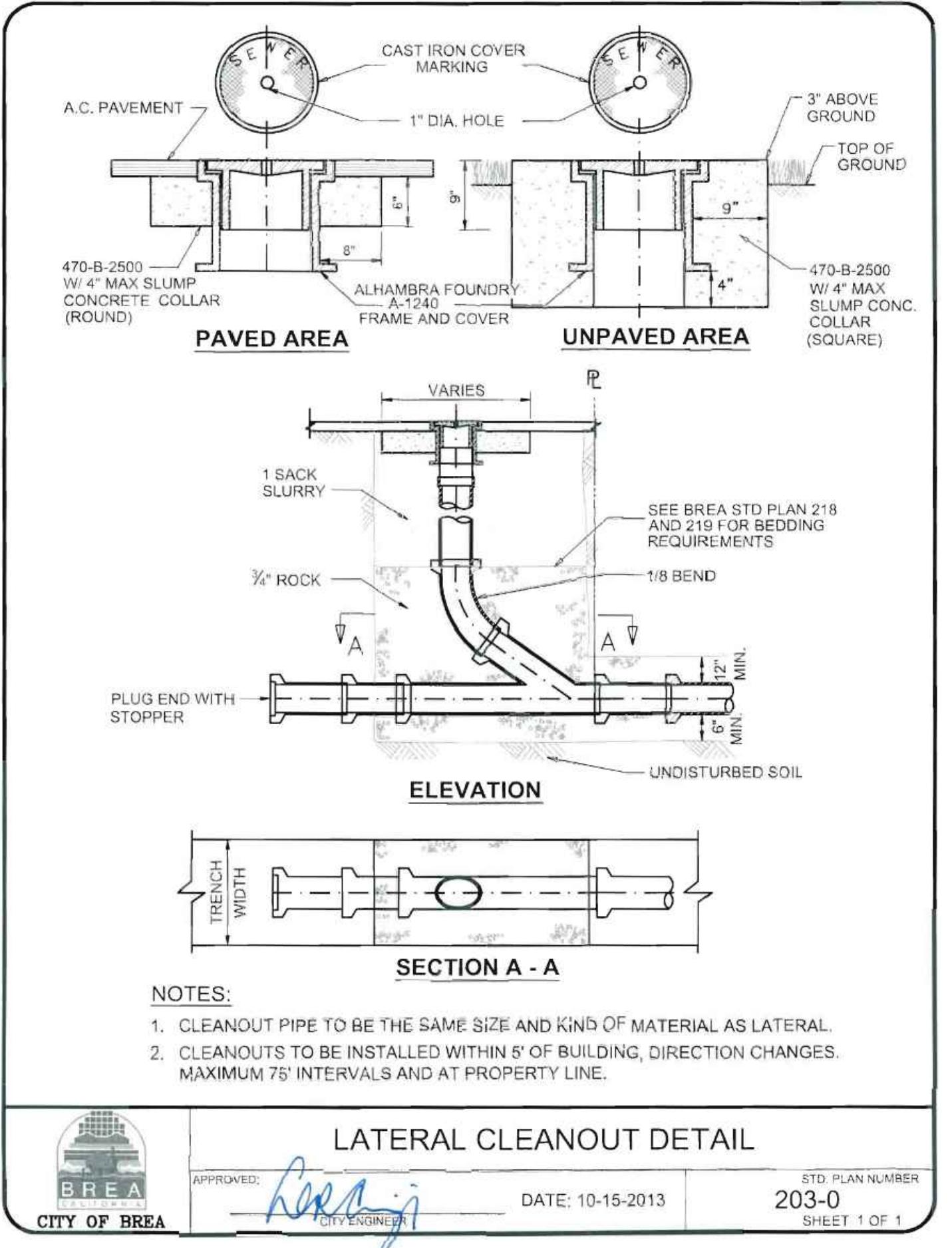
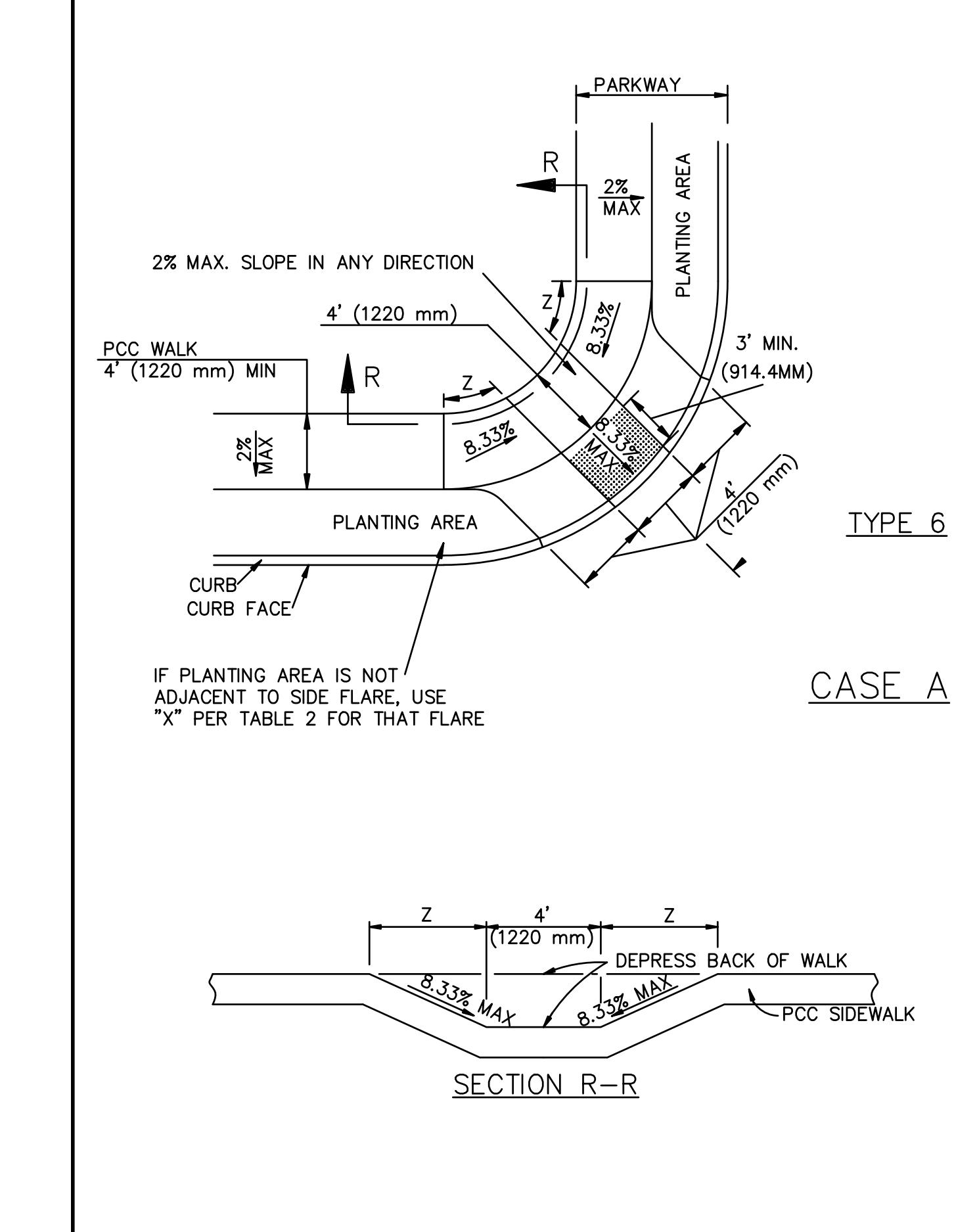
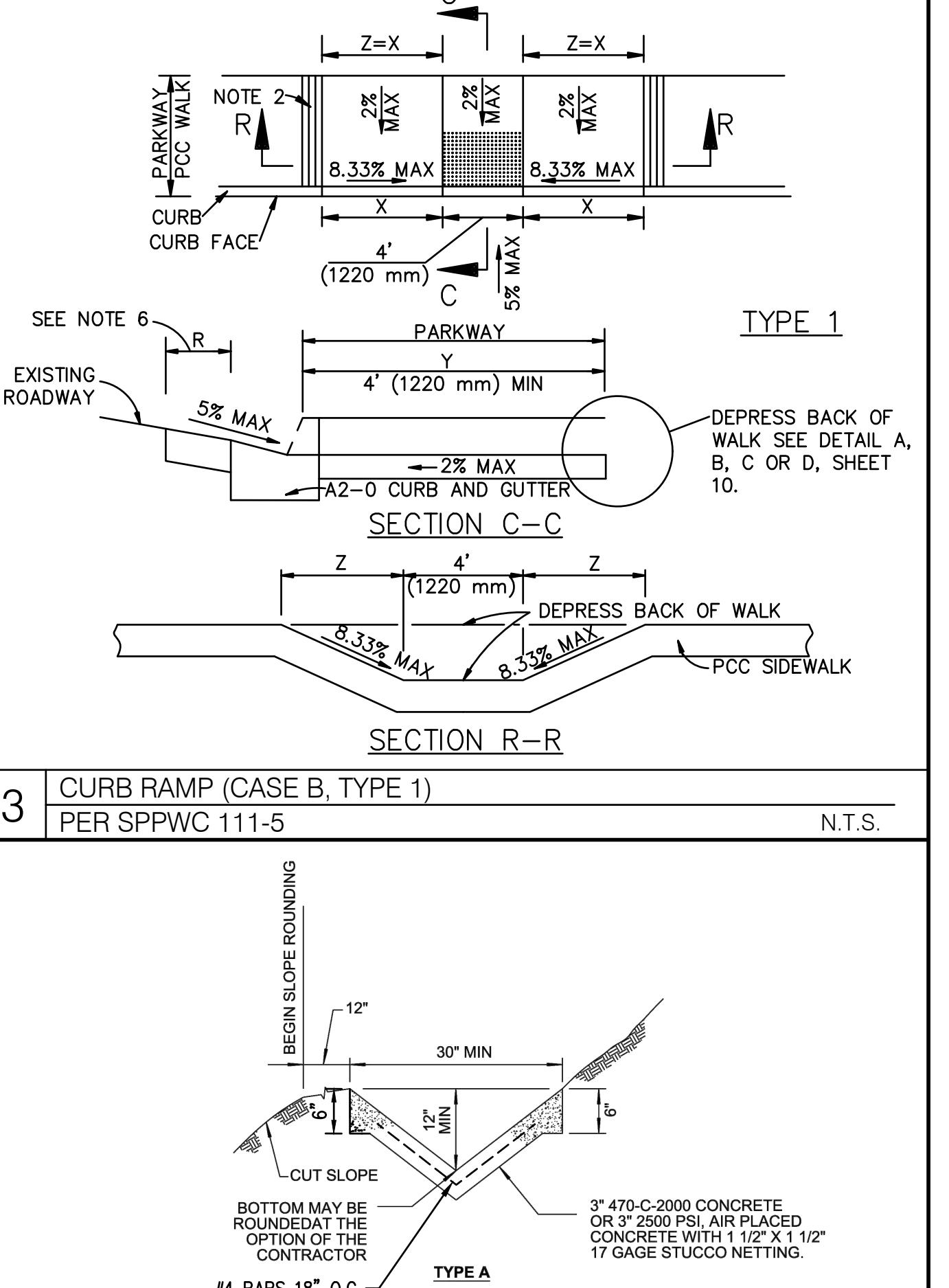
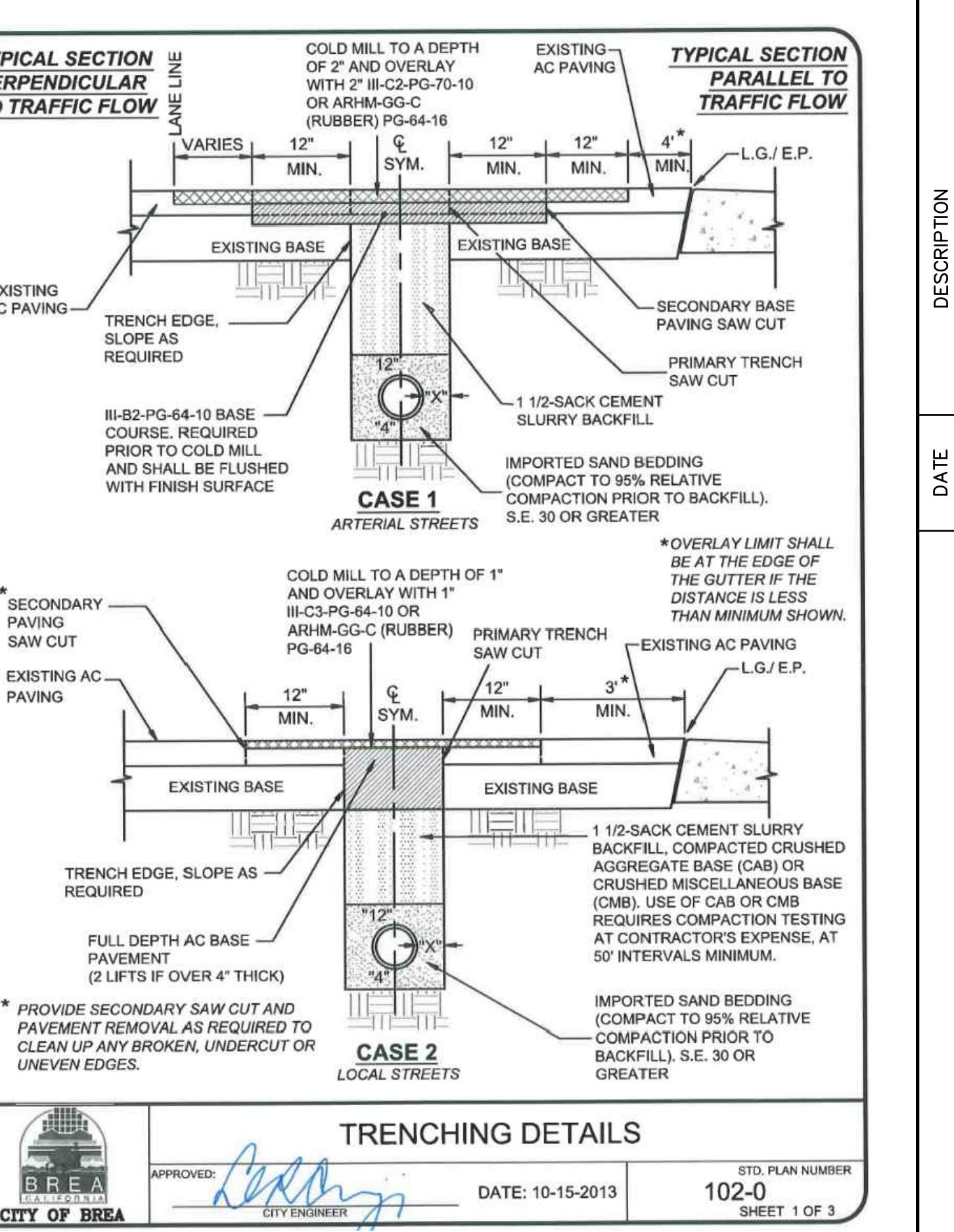
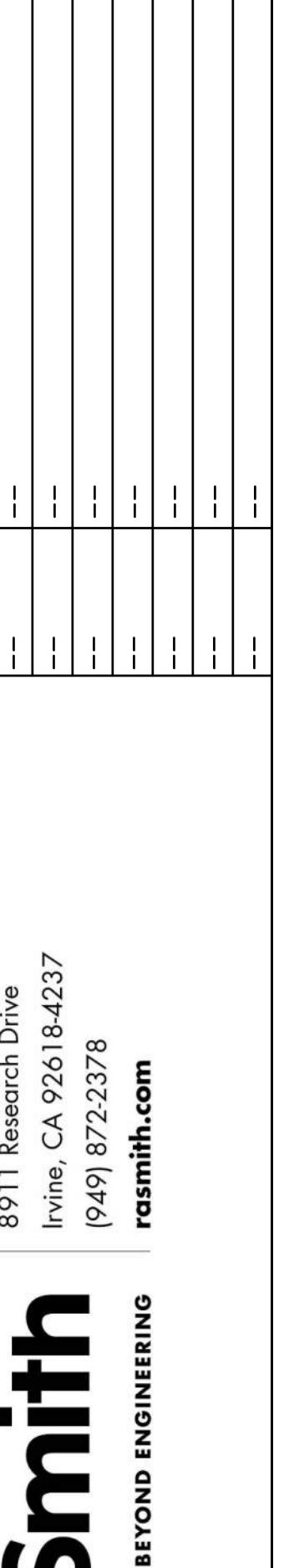
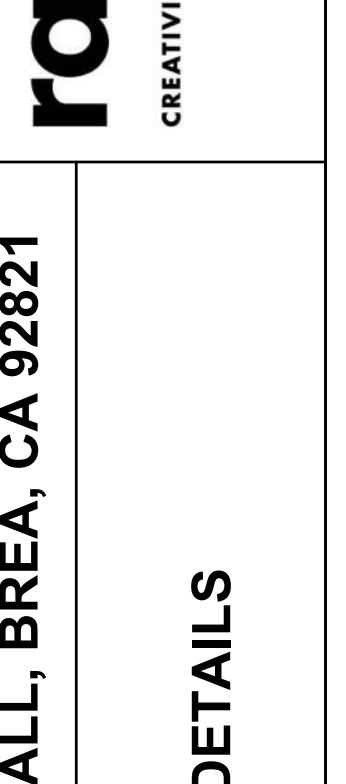
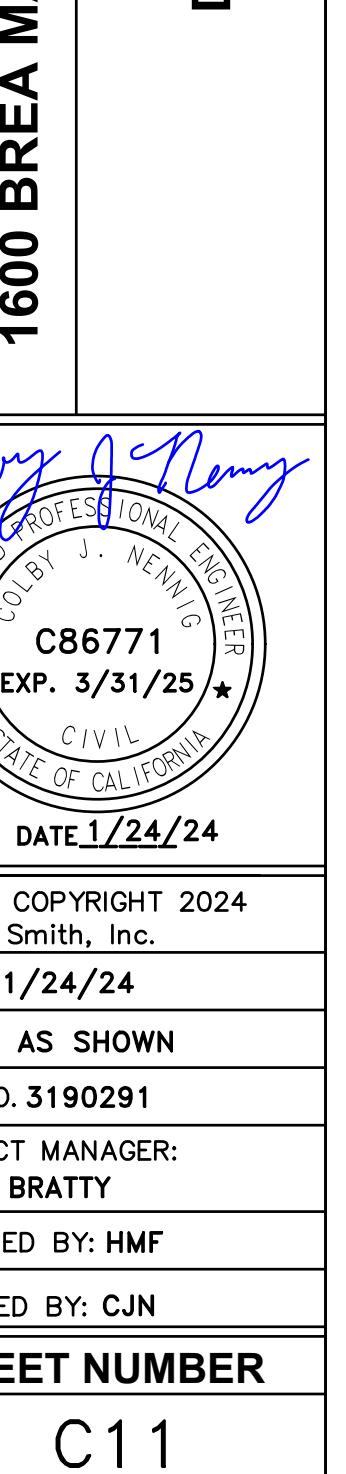
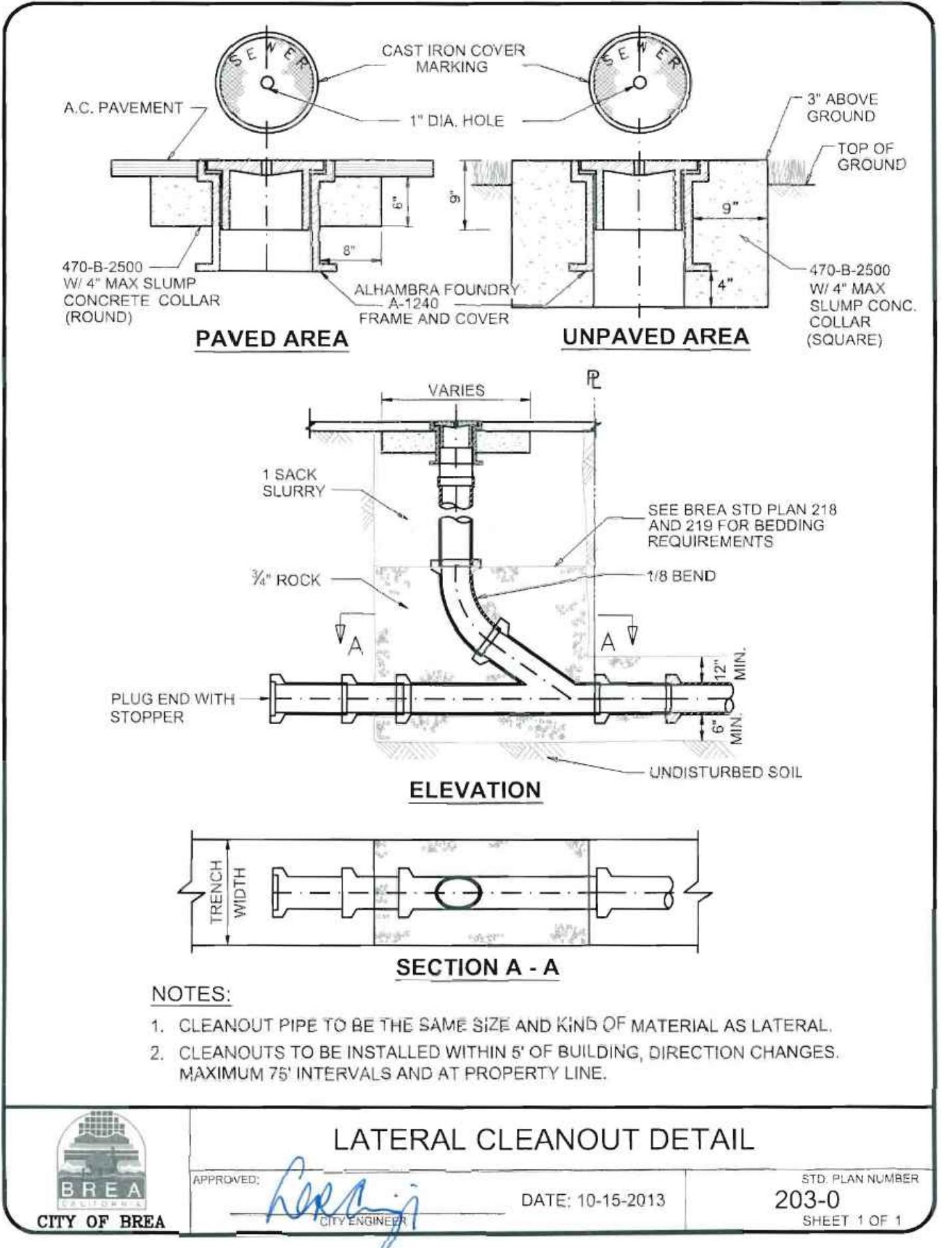
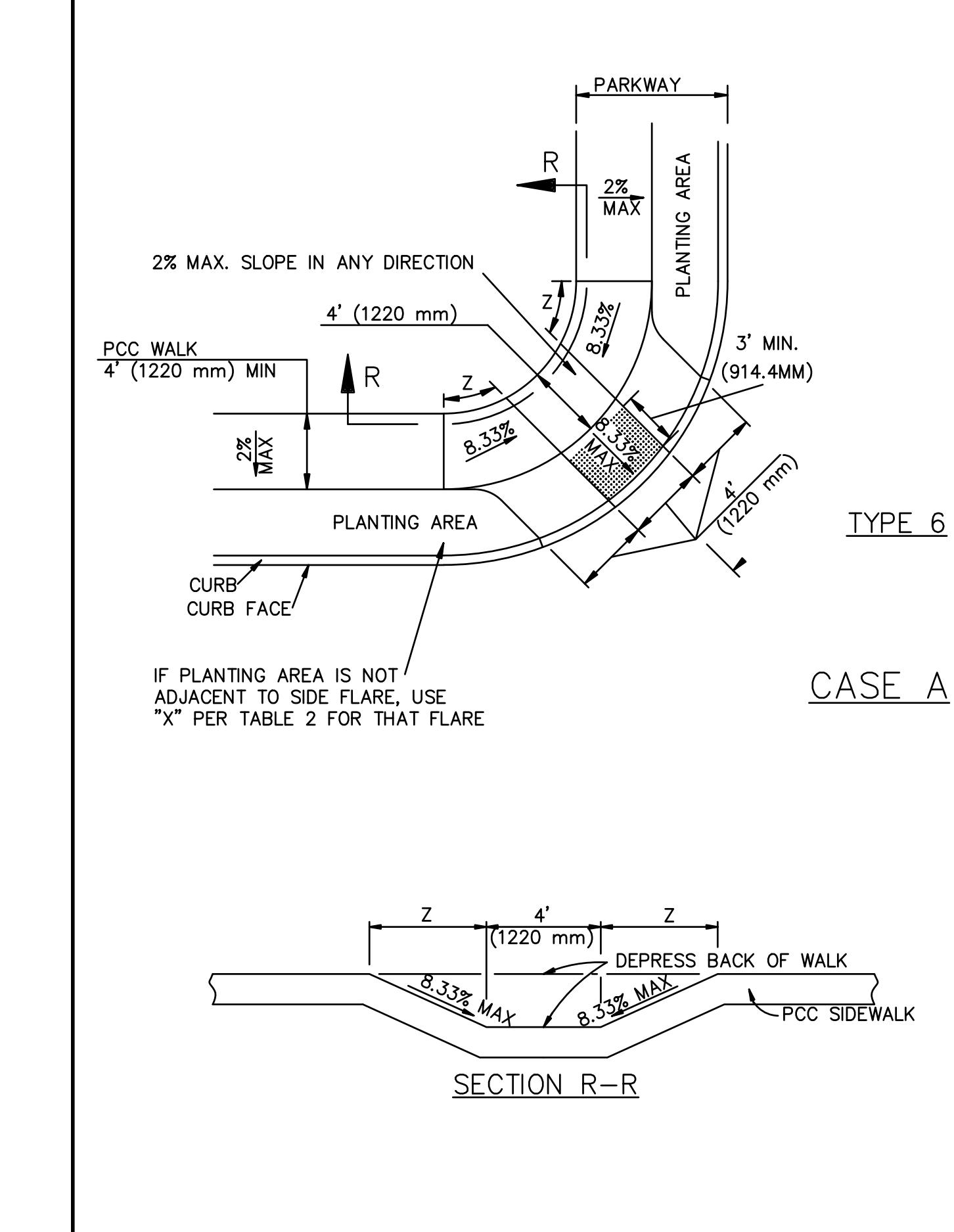
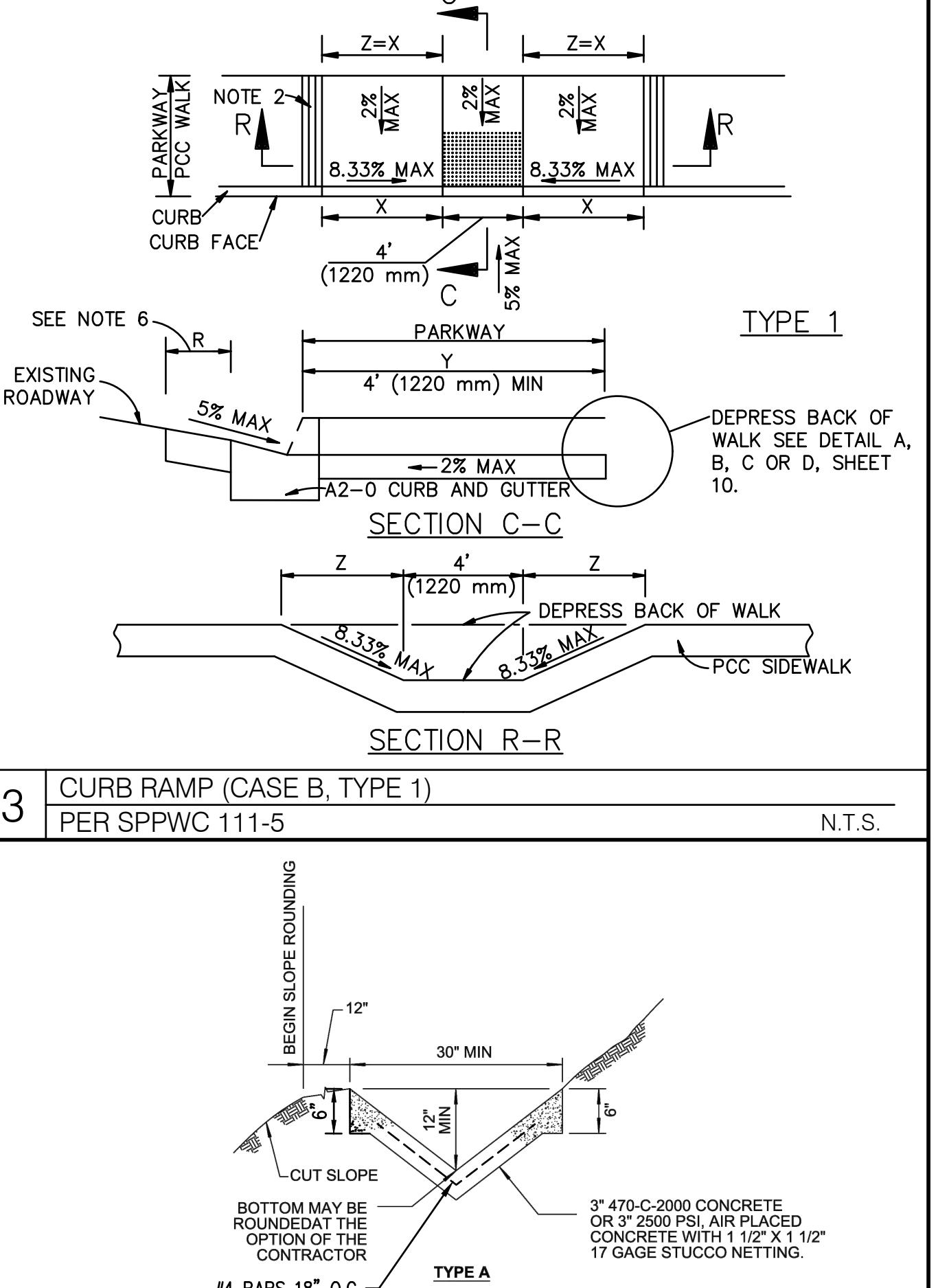
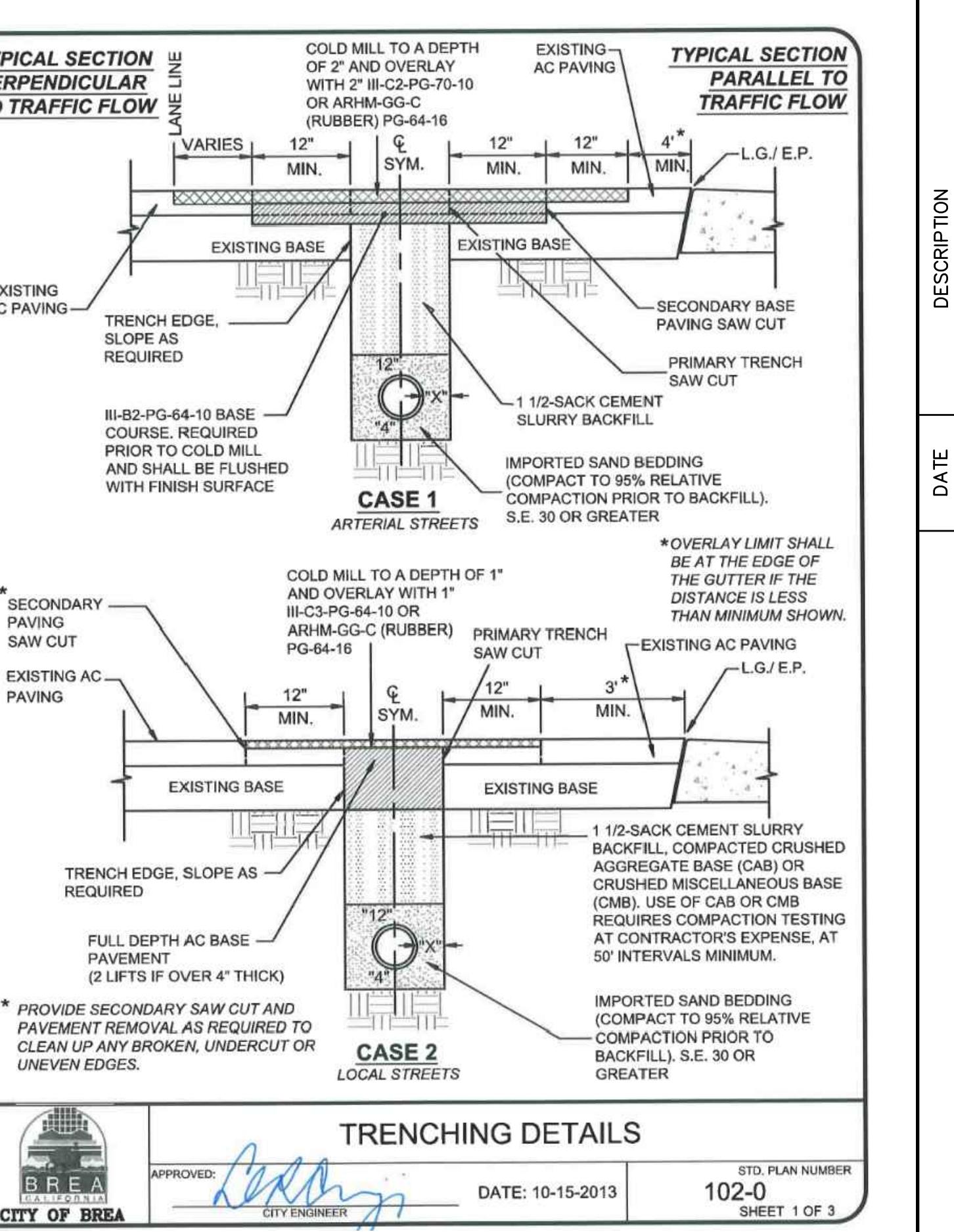
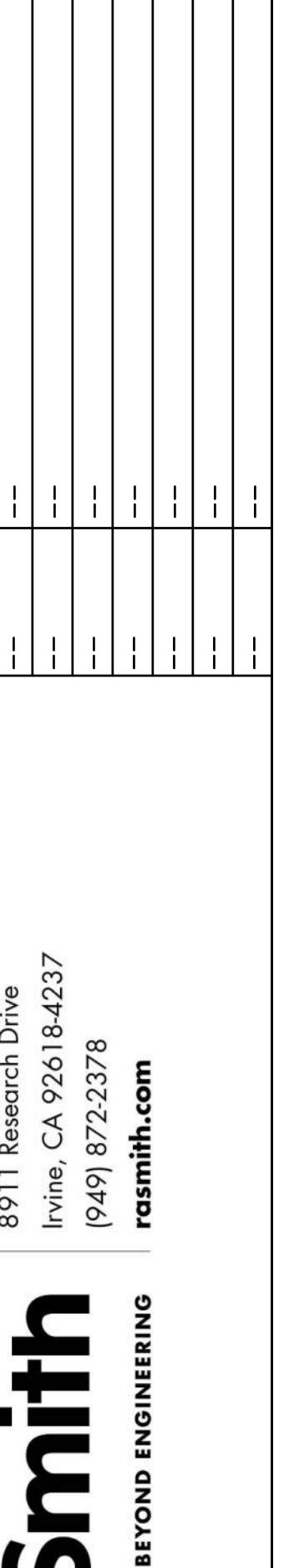
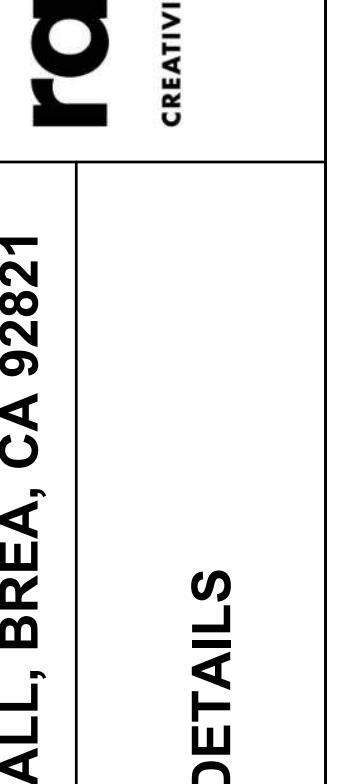
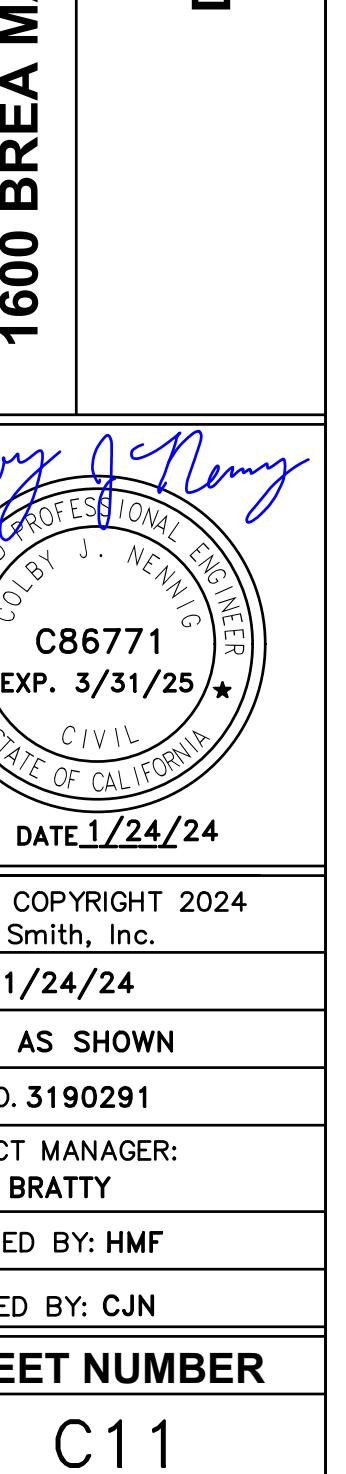
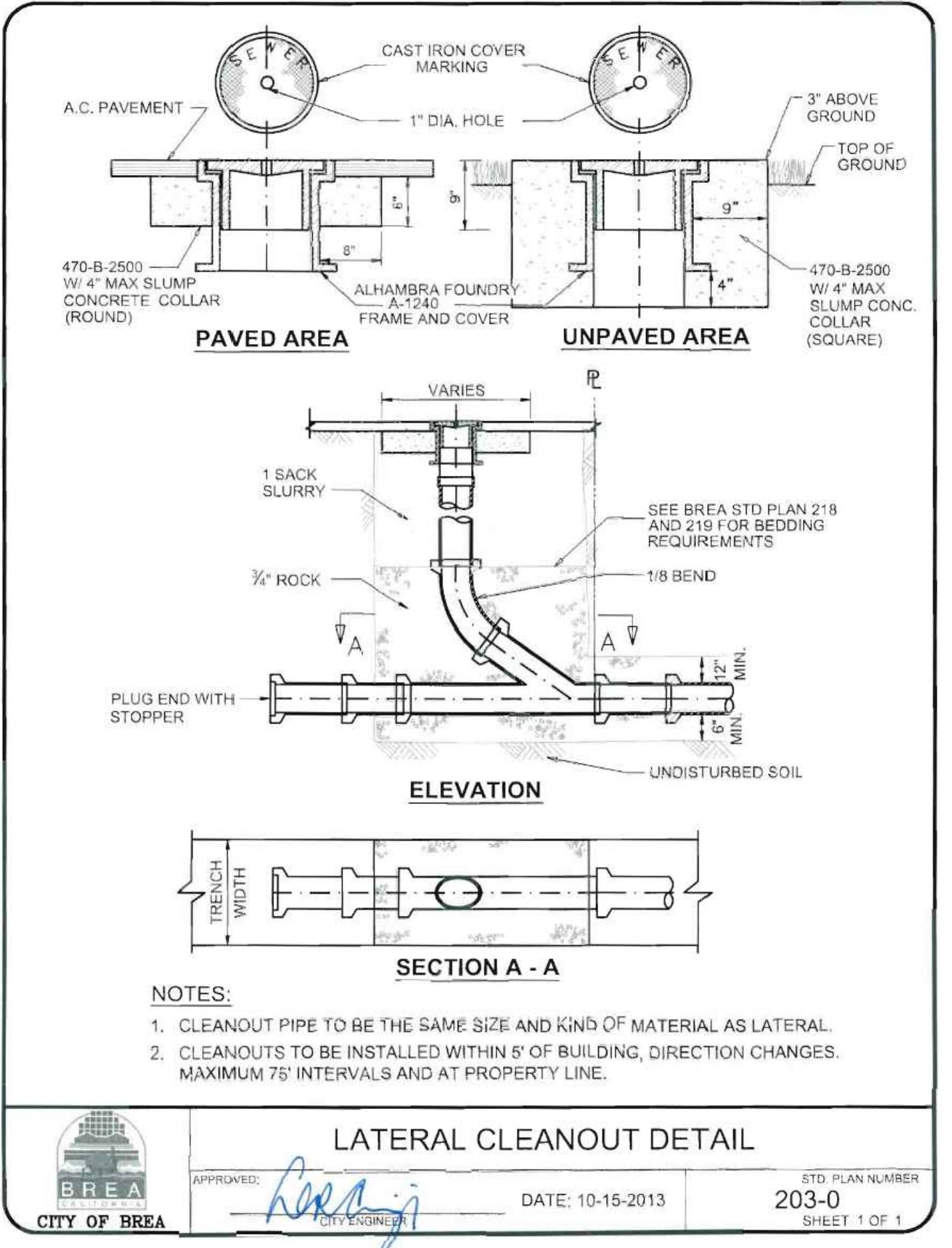
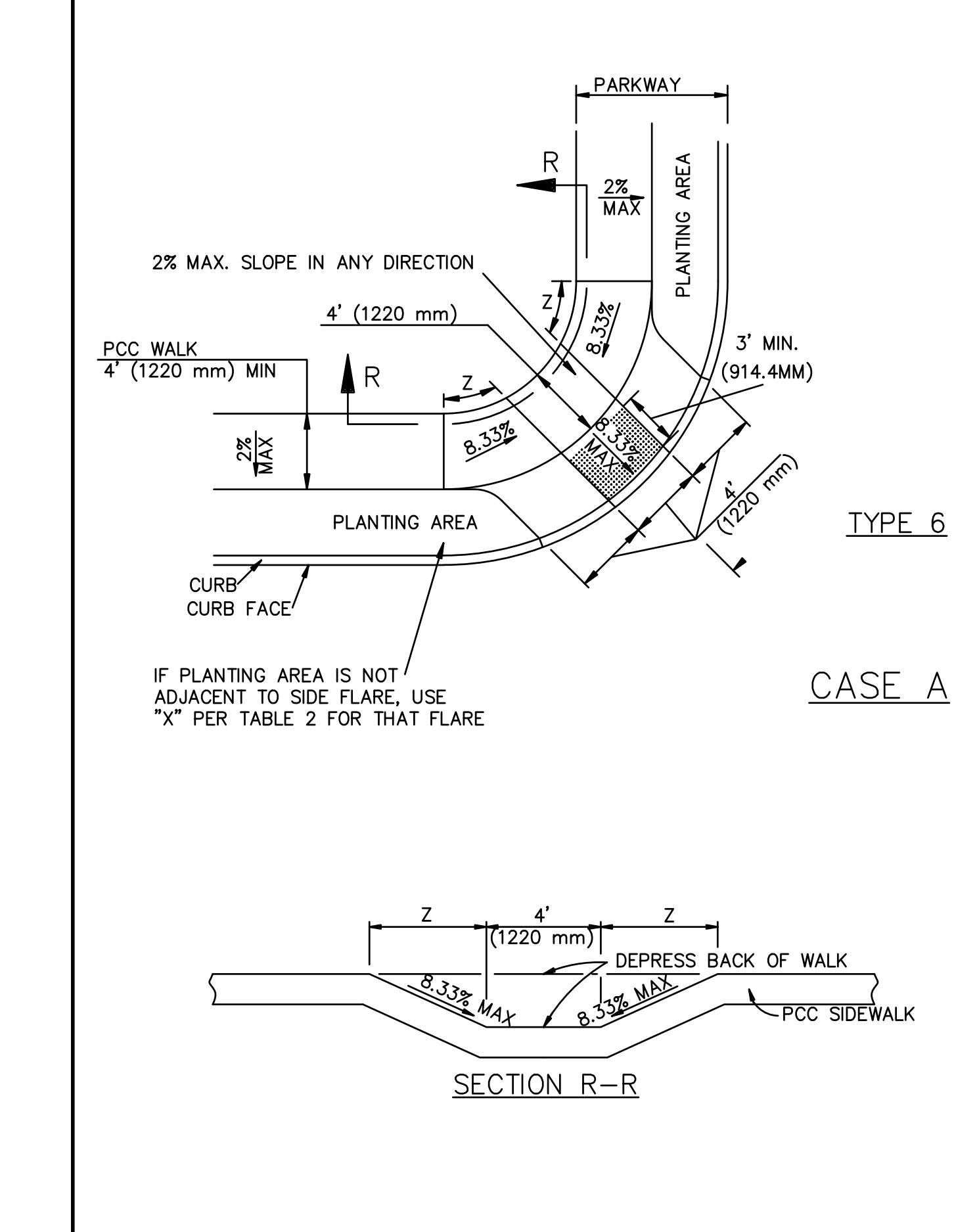
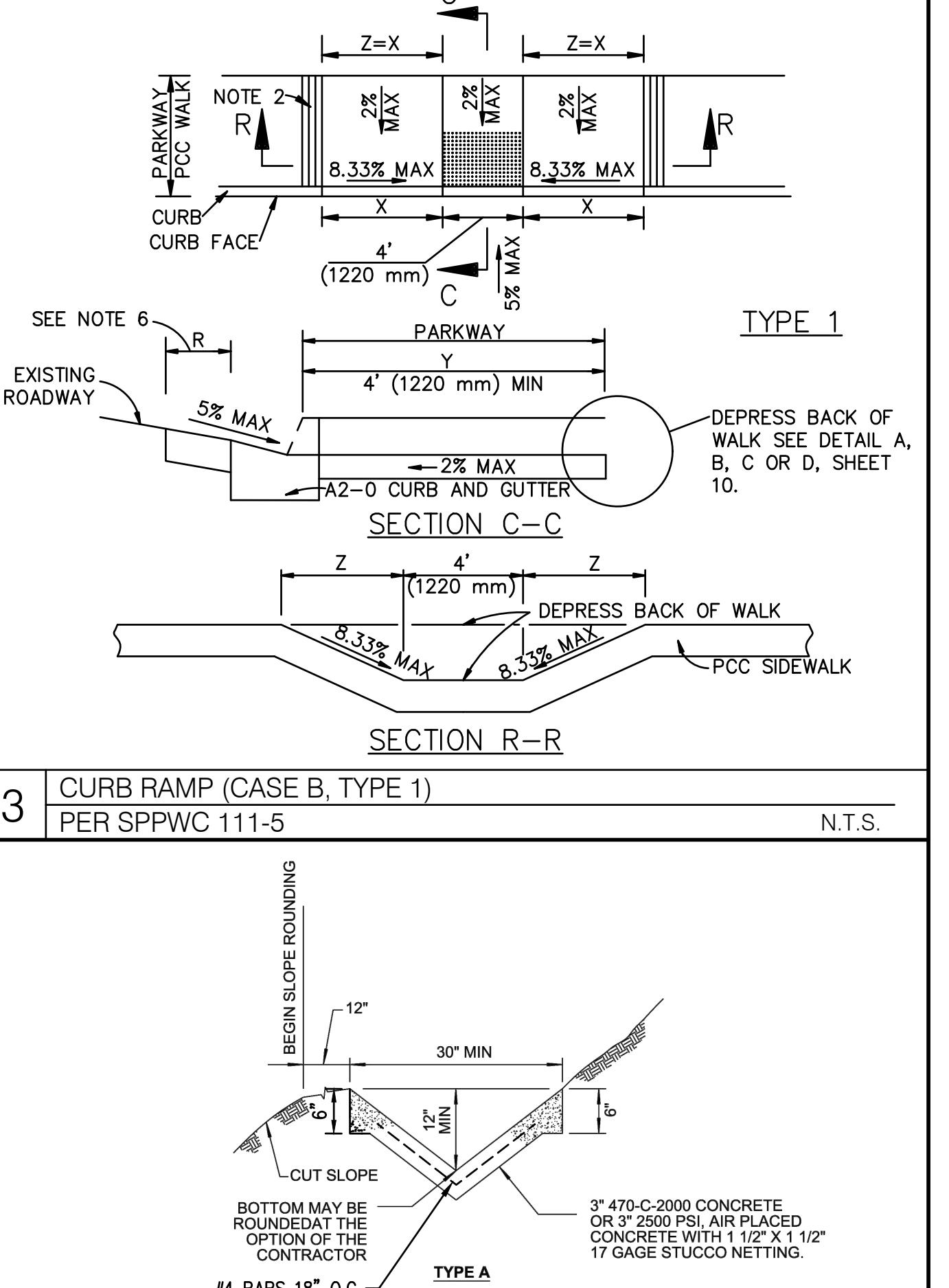
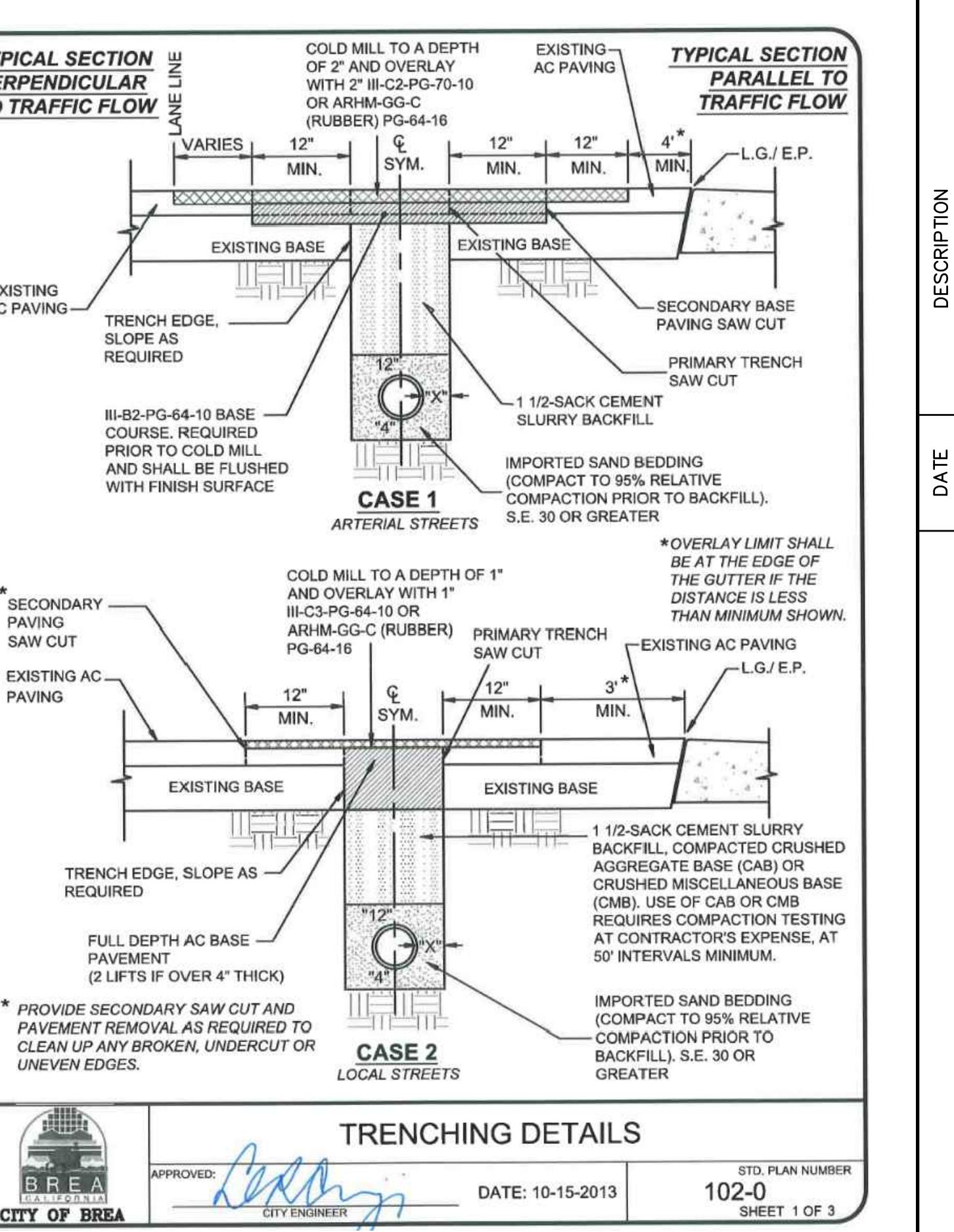






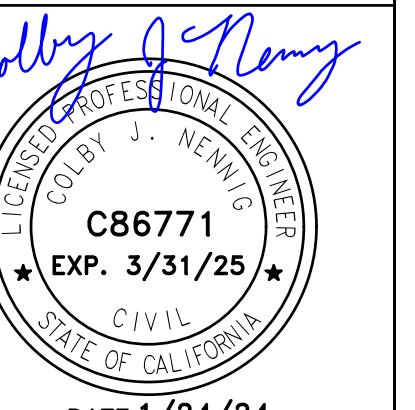


1 DRAIN INLET PROTECTION WITH MESH SILT SCREEN N.T.S.		2 STABILIZED CONSTRUCTION ENTRANCE (TEMPORARY CONDITION) N.T.S.		3 CONCRETE WASHOUT AREA SIGN N.T.S.		4 CONCRETE WASTE MANAGEMENT N.T.S.		5 SILT FENCE STD PROFILE N.T.S.		6 SANDBAG SEDIMENT CONTROL N.T.S.		7 STOCKPILE MANAGEMENT N.T.S.		8 GRATE INLET FILTER N.T.S.		9 STREET SWEEPING AND VACUUMING N.T.S.		10 MATERIAL DELIVERY AND STORAGE N.T.S.	
IMPLEMENTATION PROTECTION OF STOCKPILES IS A YEAR-ROUND REQUIREMENT. TO PROPERLY MANAGE STOCKPILES: <ul style="list-style-type: none"> ON LARGER SITES, A MINIMUM OF 50FT SEPARATION FROM CONCENTRATED FLOWS OF STORMWATER, DRAINAGE COURSES, AND INLETS IS RECOMMENDED. AFTER 14 DAYS OF INACTIVITY, A STOCKPILE IS NON-ACTIVE AND REQUIRES FURTHER PROTECTION DESCRIBED BELOW. ALL STOCKPILES ARE REQUIRED TO BE PROTECTED AS NON-ACTIVE STOCKPILES IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. PROTECT ALL STOCKPILES FROM STORMWATER RUNON USING TEMPORARY PERIMETER SEDIMENT BARRIERS SUCH AS COMPOST BERMS (SE-13), TEMPORARY SILT DIKES (SE-12), FIBER ROLLS (SE-5), SILT FENCES (SE-1), SANDBAGS (SE-9), GRAVEL BAGS (SE-6) OR BIOFILTER BAGS (SE-14). REFER TO THE INDIVIDUAL FACT SHEET FOR EACH OF THESE CONTROLS FOR INSTALLATION INFORMATION. IMPLEMENT WIND EROSION CONTROL PRACTICES AS APPROPRIATE ON ALL STOCKPILED MATERIAL. FOR SPECIFIC INFORMATION, SEE WE-1, WIND EROSION CONTROL. MANAGE STOCKPILES OF CONTAMINATED SOIL IN ACCORDANCE WITH WM-7, CONTAMINATED SOIL MANAGEMENT. PLACE BAGGED MATERIALS ON PALLETS AND UNDER COVER. ENSURE THAT STOCKPILE COVERINGS ARE INSTALLED SECURELY TO PROTECT FROM WIND AND RAIN. SOME PLASTIC COVERS WITHSTAND WEATHER AND SUNLIGHT BETTER THAN OTHERS. SELECT COVER MATERIALS OR METHODS BASED ON ANTICIPATED DURATION OF USE. 		PROTECTION OF NON-ACTIVE STOCKPILES A STOCKPILE IS CONSIDERED NON-ACTIVE IF IT EITHER IS NOT USED FOR 14 DAYS OR IF IT IS SCHEDULED NOT TO BE USED FOR 14 DAYS OR MORE. STOCKPILES NEED TO BE PROTECTED IMMEDIATELY IF THEY ARE NOT SCHEDULED TO BE USED WITHIN 14 DAYS. NON-ACTIVE STOCKPILES OF THE IDENTIFIED MATERIALS SHOULD BE PROTECTED AS FOLLOWS: <ul style="list-style-type: none"> SOIL STOCKPILES <ul style="list-style-type: none"> SOIL STOCKPILES SHOULD BE COVERED OR PROTECTED WITH SOIL STABILIZATION MEASURES AND A TEMPORARY PERIMETER SEDIMENT BARRIER AT ALL TIMES. TEMPORARY VEGETATION SHOULD BE CONSIDERED FOR TOPSOIL PILES THAT WILL BE STOCKPILED FOR EXTENDED PERIODS. STOCKPILES OF PORTLAND CEMENT CONCRETE, RUBBLE, ASPHALT CONCRETE, ASPHALT CONCRETE RUBBLE, AGGREGATE BASE, OR AGGREGATE SUB BASE STOCKPILES SHOULD BE COVERED AND PROTECTED WITH A TEMPORARY PERIMETER SEDIMENT BARRIER AT ALL TIMES. STOCKPILES OF COLD MIX <ul style="list-style-type: none"> COLD MIX STOCKPILES SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AT ALL TIMES AND SURROUNDED BY A BERM. STOCKPILES OF FLY ASH, STUCCO, HYDRATED LIME STOCKPILES OF MATERIALS THAT MAY RAISE THE PH OF RUNOFF (I.E., BASIC MATERIALS) SHOULD BE COVERED WITH PLASTIC AND SURROUNDED BY A BERM. STOCKPILES/STORAGE OF WOOD (PRESSURE TREATED WITH CHROMATED COPPER ARSENATE OR AMMONIACAL COPPER ZINC ARSENATE) TREATED WOOD SHOULD BE COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AT ALL TIMES AND SURROUNDED BY A BERM. 		PROTECTION OF ACTIVE STOCKPILES A STOCKPILE IS ACTIVE WHEN IT IS BEING USED OR IS SCHEDULED TO BE USED WITHIN 14 DAYS OF THE PREVIOUS USE. ACTIVE STOCKPILES OF THE IDENTIFIED MATERIALS SHOULD BE PROTECTED AS FOLLOWS: <ul style="list-style-type: none"> ALL STOCKPILES SHOULD BE COVERED AND PROTECTED WITH A TEMPORARY LINEAR SEDIMENT BARRIER PRIOR TO THE ONSET OF PRECIPITATION. STOCKPILES OF COLD MIX AND TREATED WOOD, AND BASIC MATERIALS SHOULD BE PLACED ON AND COVERED WITH PLASTIC SHEETING OR COMPARABLE MATERIAL AND SURROUNDED BY A BERM PRIOR TO THE ONSET OF PRECIPITATION. THE DOWNSTREAM PERIMETER OF AN ACTIVE STOCKPILE SHOULD BE PROTECTED WITH A LINEAR SEDIMENT BARRIER OR BERM AND RUNOFF SHOULD BE DIVERTED AROUND OR AWAY FROM THE STOCKPILE ON THE UPSTREAM PERIMETER. 		IMPLEMENTATION THE FOLLOWING STEPS SHOULD BE TAKEN TO MINIMIZE RISK: <ul style="list-style-type: none"> CHEMICALS MUST BE STORED IN WATER TIGHT CONTAINERS WITH APPROPRIATE SECONDARY CONTAINMENT OR IN A STORAGE SHED. WHEN A MATERIAL STORAGE AREA IS LOCATED ON BARE SOIL, THE AREA SHOULD BE LINED AND BERMED. USE CONTAINMENT PALLET OR OTHER PRACTICAL AND AVAILABLE SOLUTIONS, SUCH AS STORING MATERIALS WITHIN NEWLY CONSTRUCTED BUILDINGS OR GARAGES, TO MEET MATERIAL STORAGE REQUIREMENTS. STACK ERODIBLE LANDSCAPE MATERIAL ON PALLETS AND COVER WHEN NOT IN USE. CONTAIN ALL FERTILIZERS AND OTHER LANDSCAPE MATERIALS WHEN NOT IN USE. TEMPORARY STORAGE AREAS SHOULD BE LOCATED AWAY FROM VEHICULAR TRAFFIC. MATERIAL SAFETY DATA SHEETS (MSDS) SHOULD BE AVAILABLE ON-SITE FOR ALL MATERIALS STORED THAT HAVE THE POTENTIAL TO EFFECT WATER QUALITY. CONSTRUCTION SITE AREAS SHOULD BE DESIGNATED FOR MATERIAL DELIVERY AND STORAGE. MATERIAL DELIVERY AND STORAGE AREAS SHOULD BE LOCATED AWAY FROM WATERWAYS, IF POSSIBLE. <ul style="list-style-type: none"> AVOID TRANSPORT NEAR DRAINAGE PATHS OR WATERWAYS. SURROUND WITH EARTH BERMS OR OTHER APPROPRIATE CONTAINMENT BMP. SEE EC-9, EARTH DIKES AND DRAINAGE SWALES. 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1	TERMINAL CLEANOUT STRUCTURE PER CITY OF BREA STD DWG 203-0 N.T.S.	2	CURB RAMP (CASE A, TYPE 6) PER SPPWC 111-5 N.T.S.	3	CURB RAMP (CASE B, TYPE 1) PER SPPWC 111-5 N.T.S.	4	CONCRETE V-DITCH DETAIL N.T.S.	5	V-DITCH CONNECTION TO EX. CATCH BASIN N.T.S.	6	TRENCHING DETAILS PER CITY OF BREA 102-0 N.T.S.	7	LIFE TIME 1600 BREA MALL, BREA, CA 92821 DETAILS
													
													
													
													
													
													
													
													
													
				<img alt="V-Ditch Connection to Ex. Catch Basin Drawing showing a plan view and cross-sections for connecting a V-d									

4.2.3 Potential for Ground Rupture		4.3.2 Excavations		4.3.5 Placement and Compaction of Fills	
The site is not located immediately within an Alquist-Priolo Special Studies Zone and there are no known faults crossing or projecting toward the site. Therefore, ground rupture due to faulting is considered unlikely at this site.		Excavations at this site will include removals of undocumented fill soils, removals of disturbed soils, footing excavations, and trenching for proposed utility lines.		Fill soils should be placed in horizontal lifts, moisture-conditioned, and mechanically compacted to at least 95 percent (90 percent for cohesive soils) of the maximum dry density in accordance with ASTM D-1557. The optimum lift thickness will depend on the compaction equipment used and can best be determined in the field. The following uncompacted lift thickness can be used as preliminary guidelines.	
4.2.4 Liquefaction and Dynamic Settlement		Prior to placement of fills or construction of the building foundations, floor slabs or other foundation supported structures, undocumented fills and disturbed soils should be removed and replaced as properly compacted fill. These materials require densification to provide adequate support of foundations and slab-on-grade floors.		Plate compactor 4-6 inches Small vibratory or static rollers (including sheepfoot) (5-ton±) 6-8 inches Scrapers and heavy loaders 6-12 inches	
Soil liquefaction is a phenomenon in which saturated cohesionless soils undergo a temporary loss of strength during severe ground shaking and acquire a degree of mobility sufficient to permit ground deformation. In extreme cases, the soil particles can become suspended in groundwater, resulting in the soil deposit becoming mobile and fluid-like. Liquefaction is generally considered to occur primarily in loose to medium dense deposits of saturated soils. Thus, three conditions are required for liquefaction to occur: (1) cohesionless soils of loose to medium density; (2) a saturated condition; and (3) rapid large strain, cyclic loading, normally provided by earthquake motions.		For planning purposes, we recommend that the removal/replacement for the building footprint, pool deck area, and retaining walls taller than 6 feet to extend to 5 feet below existing grades or 3 feet below the bottom of footings, whichever is deeper. Deeper removals within the building and pool deck footprint will be required if the undocumented fills are observed in the field to be greater than 5 feet. Existing grade refers to the existing ground surface at the boring locations.		The maximum lift thickness should not be greater than 12 inches. Each lift should be thoroughly compacted and accepted prior to subsequent lifts.	
The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		For footings of minor lightly-loaded structures, such as small retaining walls, site walls, and trash enclosures, we recommend the removals and replacement extend to at least 2 feet below the bottom of footings. Within hardscape areas outside of the pool deck, removals should extend to a depth of 1 foot below the existing grade or proposed subgrade, whichever is deeper. Within the limited pavement areas planned for the project, removals are not required provided the subgrade soils are scarified in accordance with the recommendations in the subsequent section of this report.		The moisture content of the fine-grained fill materials should be at least 2 to 3 percent over optimum to readily achieve the required degree of compaction and to help reduce the potential for expansion. The moisture content of the on-site material is, in general, at or slightly above optimum. Fills consisting of the on-site or imported sandy soils should be placed at a moisture content of 0 to 2 percent over the optimum moisture content in order to achieve the required compaction. Moisture should be maintained in fill prior to placing new fill or at the building pad or subgrade surfaces.	
Seismic ground subsidence (not related to liquefaction), occurs when loose, granular (sandy) soils above the groundwater are densified during strong earthquake shaking. Significant subsidence during a strong earthquake is not expected to occur, as the on-site older alluvial soils below the planned excavation depth are predominantly very stiff to hard and would not be expected to densify significantly during strong earthquake shaking.		To avoid damage to subgrade soils, storm water should not be permitted to pond on the grade.		We recommend that new slopes should be constructed at gradients no steeper than 2:1 (horizontal:vertical). We recommend that the face of fill slopes be overfilled and trimmed back to a hard, compacted surface.	
4.3 EARTHWORK		4.3.4 Material for Fill		4.3.6 Shrinkage and Subsidence	
The earthwork anticipated at the project site will consist of clearing, overexcavation of undocumented fills and disturbed soils, subgrade preparation, and placement and compaction of fill.		The on-site soils are suitable for use as compacted fill. The soils in the upper 18 inches of the building pad and pool deck area as well as retaining wall backfill should consist of non-expansive sandy materials as described for imported soils below. Non-expansive sandy soils are very limited within the depth of anticipated remedial earthwork and import of these soils will be required.		Shrinkage is the loss of soil volume caused by compaction of fills to a higher density than before grading. Subsidence is the settlement of in-place subgrade soils caused by loads generated by large earthmoving equipment. For earthwork volume estimating purposes, an average shrinkage value of 5 to 10 percent and subsidence of 0.1 feet may be assumed for the surficial soils. These values are estimates only and exclude losses due to removal of vegetation or debris. Actual shrinkage and subsidence will depend on the types of earthmoving equipment used and should be determined during grading.	
4.3.1 Clearing and Grubbing		4.3.5 Import Material		4.3.7 Trench/Wall Backfill	
Prior to grading, the areas to be developed should be stripped of vegetation and cleared of debris and pavements. Buried obstructions, such as footings, utilities, and tree roots should be removed. Deleterious material generated during the clearing operation should be removed from the site. Inert demolition debris, such as concrete and asphalt may be crushed for reuse in engineered fills, in accordance with the criteria presented in the "Materials for Fill" section of this report.		Imported fill material should be predominately coarse grained, non-expansive (E.I. less than 20), contain no more than 40 percent fines (portion passing No. 200 sieve). GPI should be notified at least 72 hours in advance of the location of soils proposed for import. Each proposed import source should be sampled, tested and accepted for use prior to delivery of the soils to the site. Soils imported prior to acceptance by the GPI may be rejected if not suitable.		Utility trench and wall backfill should be mechanically compacted in lifts. Wall backfill should consist of imported silty sand or sand as discussed in "Materials for Fill" section of this report. The on-site material in the upper 10 feet of the soil profile is suitable for use as wall backfill. Lift thickness should not exceed those values given in the "Compacted Fill" section of this report. Jetting or flooding of backfill materials should not be permitted. GPI should observe and test trench and wall backfill during placement.	
Although none were encountered, cesspools or septic systems encountered during grading, should be removed in their entirety. The resulting excavation should be backfilled as recommended in the "Subgrade Preparation" and "Placement and Compaction of Fill" sections of this report. As an alternative, cesspools can be backfilled with a lean sand-cement slurry. At the conclusion of the cleaning operations, a GPI representative should observe and accept the site prior to further grading.		Soils used for compacted fills should not contain particles greater than 3 inches in largest dimension.		8911 Research Drive Irvine, CA 92618-4237 (949) 872-2378	
3085-I-03R.doc (5/22)		9		raSmith CREATIVITY BEYOND ENGINEERING	
4.3.8 Observation and Testing		4.4 FOUNDATIONS		4.5 BUILDING FLOOR SLABS	
A representative of the GPI should observe excavations, subgrade preparation, and fill placement activities. Sufficient in-place field density tests should be performed during fill placement and in-place compaction to evaluate the overall compaction of the soils. Test areas that do not meet minimum compaction requirements should be reworked and retested prior to placement of additional fill.		4.4.1 Foundation Type		4.5.1 Slab-on-grade floors	
4.3.9 Shallow Footings		4.4.2 Foundation Type		4.5.2 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.3 Slab-on-grade floors	
4.3.10 Allowable Bearing Capacity		4.4.3 Deep Foundations		4.5.4 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.5 Slab-on-grade floors	
4.3.11 Deep Foundations		4.4.4 Pile Foundations		4.5.6 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.7 Slab-on-grade floors	
4.3.12 Shallow Footings		4.4.5 Shallow Footings		4.5.8 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.9 Slab-on-grade floors	
4.3.13 Allowable Bearing Capacity		4.4.6 Deep Foundations		4.5.10 Slab-on-grade floors	
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4.3.14 Deep Foundations		4.4.7 Pile Foundations		4.5.12 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.13 Slab-on-grade floors	
4.3.15 Shallow Footings		4.4.8 Shallow Footings		4.5.14 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.15 Slab-on-grade floors	
4.3.16 Allowable Bearing Capacity		4.4.9 Deep Foundations		4.5.16 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.17 Slab-on-grade floors	
4.3.17 Deep Foundations		4.4.10 Pile Foundations		4.5.18 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.19 Slab-on-grade floors	
4.3.18 Shallow Footings		4.4.11 Shallow Footings		4.5.20 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.21 Slab-on-grade floors	
4.3.19 Allowable Bearing Capacity		4.4.12 Deep Foundations		4.5.22 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.23 Slab-on-grade floors	
4.3.20 Deep Foundations		4.4.13 Pile Foundations		4.5.24 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.25 Slab-on-grade floors	
4.3.21 Shallow Footings		4.4.14 Shallow Footings		4.5.26 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.27 Slab-on-grade floors	
4.3.22 Allowable Bearing Capacity		4.4.15 Deep Foundations		4.5.28 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.29 Slab-on-grade floors	
4.3.23 Deep Foundations		4.4.16 Pile Foundations		4.5.30 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.31 Slab-on-grade floors	
4.3.24 Shallow Footings		4.4.17 Shallow Footings		4.5.32 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.33 Slab-on-grade floors	
4.3.25 Allowable Bearing Capacity		4.4.18 Deep Foundations		4.5.34 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.35 Slab-on-grade floors	
4.3.26 Deep Foundations		4.4.19 Pile Foundations		4.5.36 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.37 Slab-on-grade floors	
4.3.27 Shallow Footings		4.4.20 Shallow Footings		4.5.38 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.39 Slab-on-grade floors	
4.3.28 Allowable Bearing Capacity		4.4.21 Deep Foundations		4.5.40 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.41 Slab-on-grade floors	
4.3.29 Deep Foundations		4.4.22 Pile Foundations		4.5.42 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation at 14 exterior columns along the perimeter wall of the structure. Cast-in-place concrete piles (drilled piers) may be utilized for the pile(s) in the exterior columns to resist axial, uplift and lateral forces developed from wind and seismic loads.		The majority of the proposed structure may be supported on conventional isolated and/or continuous shallow footings, provided the subsurface soils are prepared in accordance with the recommendations given in this report.		4.5.43 Slab-on-grade floors	
4.3.30 Shallow Footings		4.4.23 Shallow Footings		4.5.44 Slab-on-grade floors	
Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		Shallow footings should be supported on properly compacted fill as discussed in the Earthwork section. Footings should be set back from retaining walls or deepened such that a 1:1 projection extending down from the top of footing does not project into the retaining wall.		4.5.45 Slab-on-grade floors	
4.3.31 Allowable Bearing Capacity		4.4.24 Deep Foundations		4.5.46 Slab-on-grade floors	
Based on the shear strength and elastic settlement characteristics of the recompacted on-site soils, a static net allowable bearing pressure of up to 5,000 pounds per square foot (psf) may be used for continuous footings or isolated column footings. These net bearing pressures (exclusive of the weight of footing) are for dead-plus-live loads, and may be increased one-third for short-term, transient, wind and seismic loading. The actual bearing pressure used may be based on economics and structural loads and will determine the minimum width for footings as discussed below. The maximum edge pressures induced by eccentric loading or overturning moments should not be allowed to exceed these recommended values.		The site is not located within an area shown as having a potential for soil liquefaction (Reference 7), per the Seismic Hazards Mapping Act (Act). Soil liquefaction is not likely to occur at the project site because the hard/dense nature of the soils underlying the site.		4.5.47 Slab-on-grade floors	
4.3.32 Deep Foundations		4.4.25 Pile Foundations		4.5.48 Slab-on-grade floors	
However, we understand that a portion of the exterior columns will require pile foundations to resist a relatively large seismic loads and uplift loads. Preliminary structural plans indicate a pile supported foundation					

LIFE TIME		CONDITIONS OF APPROVAL				
1600 BREA MALL, BREA, CA 92821						
3	4	5	6			
<p>15. Any violation of the regulations of the Department of Alcoholic Beverage Control (ABC) as they pertain to the subject location and as they relate to the sale of alcohol, may result in the revocation of the subject Conditional Use Permit, as provided for in Section 20.412.020 of the Brea Zoning Code.</p> <p>16. The on-site sale of alcohol shall be incidental to food service and the operation of a bona fide restaurant.</p> <p>17. The hours of alcohol sales shall be restricted to the hours of the restaurant (hours of operation).</p> <p>18. Operation of the Brea Mall mixed-use development shall not result in stacking of vehicles in such a manner that will result in obstruction to any access aisle or parking spaces for residential and commercial tenants, the main drive aisles for the Brea Mall, or public streets. If the operation of the Brea Mall mixed-use development affects traffic of the main drive aisles of the Brea Mall or the public street, design alternatives to remedy the issue, such as modifying the parking lot, loading area, or other alternatives, shall be presented to the City Engineer and City Planner for review and approval. All dedicated delivery loading areas and delivery parking areas shall be shown on the parking site plan.</p> <p>19. Any patios and balconies with glass railing shall include patterns such as stripes and/or etching that meets the American Bird Conservancy scale that represent a Threat Factor of 10 or less.</p> <p>20. Install at least one free library/book exchange spot within the residential parcel.</p> <p>21. Incorporate materials and/or landscaping to soften the appearance of the structural supports located at the ground level of the exterior of the residential structure (currently designed in a "V" shape), to the satisfaction of the City Planner.</p> <p>22. Within the central green and plaza area, incorporate a design feature (e.g. landscaping hedges, low fence/wall/raised planters, change in pavement pattern/color, raised curbs, bollards, etc.) to provide a separation between the green space and the adjacent drive aisle. Also incorporate other location appropriate design features that can support user activities and general seating.</p> <p>23. All landscaping within the Project site shall be maintained in a good condition as not to create any nuisance.</p> <p>24. Incorporate a bicycle repair station within the residential building.</p> <p>25. The proposed project is required to pay development impact fees to the City of Brea pursuant to the City's AB 1600 Transportation Improvement Nexus Program (Ordinance 966). Based on a transportation improvement nexus program study conducted in 2011, the City Council adopted Resolution 2011-096, which updated</p>	<p>the impact fees, effective February 4, 2012. Fair-share fees serve to offset or mitigate the cumulative traffic impacts caused by new development. The program ensures all future development in the City of Brea contributes on a fair-share basis.</p> <p>26. The Applicant is responsible for paying all charges related to the processing of this Project within 30 days of the issuance of the final invoice or prior to the issuance of grading or building permits for this Project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits.</p> <p>27. At all phases of construction and operation, the Applicant shall comply with all mitigation measures described in the Final Environmental Impact Report.</p> <p>28. Approval of General Plan Amendment No. 2020-01, Tentative Parcel Map No. 2022-113, Precise Development Plan No. 2020-02, and Conditional Use Permit Nos. 2020-06, 2022-16, 2022-17, and 2022-18 is contingent upon the City Council adoption of an ordinance, processed concurrently, to approve Zone Change No. 2020-01 and Development Agreement No. 2020-01.</p> <p>29. A GIS shapefile for the proposed change to zoning and general plan land use designation is required. This needs to include a parcel layer with APN and addresses.</p> <p>30. To the fullest extent permitted by law, the Applicant shall indemnify, defend and hold the City, its elected officials, officers, contractors serving as City officers, agents, and employees ("Indemnitees") free and harmless from: (i) any and all claims, liabilities and losses whatsoever occurring or resulting to any and all persons, firms, entities, or corporations furnishing or supplying work, services, materials, or supplies in connection with, or related to, the performance of work or the exercise of rights authorized by approval of this permit; and (ii) any and all claims, lawsuits, liabilities, and/or actions arising out of, or related to the approval of this permit and/or the granting or exercise of the rights authorized by said approval; and (iii) from any and all claims, liabilities and losses occurring or resulting to any person, firm, entity, corporation for property damage, personal injury, or death, arising out of or related to the approval of, or exercise of rights granted by, this permit. Applicant's obligation to indemnify, defend, and hold the Indemnitees free and harmless as required hereinabove shall include, but is not limited to, paying all fees and costs incurred by legal counsel of the Indemnitees' choice in representing the Indemnitees in connection with any such claims, losses, lawsuits, or actions, and any award of damages, judgments, verdicts, court costs or attorneys' fees in any such lawsuit or action.</p> <p>31. Prior to issuance of any Building permits, the applicant shall provide a phasing plan to the satisfaction of the Community Development Director. The phasing plan shall include information and details that outline the orderly development of the project site. This phasing plan shall be included as sheet on all plan sets associated with corresponding building permits.</p>	<p>ii. EV Charging Spaces & Clean Air Spaces shall fully comply with CALGREEN Secs. 5.106.5.2, 5.106.5.2.1, 5.106.5.3, 5.106.5.3.2, 5.106.5.3.3, 5.106.5.3.4, 5.106.5.3.5.</p> <p>iii. 7 Clean Air Vehicles Spaces (for combination of low emitting, fuel-efficient and carpool/van pool vehicles).</p> <p>Notes: All EV Charging accessible (ADA) spaces shall be located on an accessible route and fully comply with code requirements. These requirements are based on parking analysis provided and are subject to change if parking analysis changes at any given time. The requirements noted are minimum requirements.</p> <p>32. All designs shall comply with the Codes adopted at the time of permit submittal. The 2019 CA Building, Mechanical, Electrical, Plumbing, Cal Green, Energy, Fire Codes, ISPSC, City of Brea Municipal Code, City of Brea & CA state ordinances are in effect for the building permit applications submitted prior to December 31, 2022.</p> <p>33. Any code deviations will require submittal of Alternative method or Modification request. Code sections and alternatives are required also with complete justification for request.</p> <p>34. Clearly show on site plan the anchor buildings & mall perimeter line. Label both as such to verify applicable building separation and other requirements. Include dimensions to assist with this review.</p> <p>35. Proposed development will require complete plan submittal to the Building & Safety Division for project approval.</p> <p>36. A detailed and comprehensive ADA complaint plan must be submitted with accessible routes integrated to the existing accessible routes, surrounding accessibility features and integrated with the public right of way.</p> <p>37. Any existing ADA parking removed as a result of the new development will have to be added in stalls adjacent to the development in addition to the ADA stalls required by the new development.</p> <p>38. Prior to the issuance of any building permits, the permit plans shall provide the following EV parking stalls & Clean air vehicles stalls:</p> <ul style="list-style-type: none"> a. Residential Project: <ul style="list-style-type: none"> i. 59 EV Charging Spaces (3 stalls shall have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet). This is based on 593 stalls provided. ii. EV Charging Spaces shall fully comply with CALGREEN Secs. 4.106.4.2, 4.106.4.2.1, 4.106.4.2.1.1, 4.106.4.2.2, 4.106.4.2.4, 4.106.4.2.5 b. Retail Project: <ul style="list-style-type: none"> i. 35 EV Charging Spaces (1 stall shall be ADA Van accessible, 1 shall be ADA standard and 1 shall be ADA ambulatory). This is based on 347 stalls provided. <p>39. Provide enlarged plans and details at seismic separation between existing mall and new construction along with the structural analysis and detailed structural calculations.</p> <p>40. Provide structural anchorage details & calculations for stone veneer, porcelain tile, brick veneer, GFRC panels, wood like cladding and similar type of veneers and sidings.</p> <p>41. Provide ICC report numbers for all exterior building cladding.</p> <p>42. The residential building must comply with the following: <ul style="list-style-type: none"> a. Entry doors from interior corridors must provide a minimum STC of 26. b. Penetrations or openings in sound rated assemblies must be treated to maintain required ratings. c. All exterior windows, doors, and sliding glass doors shall have a positive seal and leaks/cracks must be kept to a minimum. d. Floor-ceiling assembly design musts must provide a minimum STC of 50, based on lab tests. Field tested assemblies must provide a minimum FIIC of 45. e. Structural details and calculations must be provided for glass railing, screens, canopies, vertical fins and stone veneer installation, vertical and horizontal trims. </p> <p>43. Structural plans, details and calculations will be required for light poles, monuments, canopies, covered patios, shades, art sculptures and any other exterior feature with similar characteristics.</p> <p>44. Structural anchorage details and calculations will be required for storefronts and curtain walls.</p> <p>45. All MEP equipment heavier than 300 lbs. must provide anchorage calculations, details and reference details on plan.</p>	<p>46. No buildings' structural components will be permitted to be a deferred submittal.</p> <p>47. Exterior walls cold formed steel framing is part of the building's envelop and no deferred submittal will be permitted.</p> <p>48. At time of building permit submittal, construction documents that will be required but not limited to are: Architectural, Structural, Mechanical, Electrical, Energy, Plumbing, Civil (Grading, Erosion Control), Landscaping, Structural Calculations, Shoring Calculations, Energy Calculations, MEP related Calculations & Equipment Cut Sheets, Specs, and a Geotechnical Report.</p> <p>49. At time of building plan submittal, provide a digital file for all structural calculations generated on excel spread sheets.</p> <p>50. Full project review shall be conducted when complete construction documents are submitted to the Building & Safety division.</p> <p>51. Additional requirements may be imposed when the project is submitted for building & safety department plan check review and approval.</p> <p>52. Once Planning has approved your project please visit https://www.ci.brea.ca.us/124/Building-Safety-Division</p> <p>53. To apply for a building permit, submit for plan check, or apply for a Certificate of Occupancy please email your application and all necessary documents to Building@ciybrea.net.</p> <p>Public Works Department</p> <p>General Conditions</p> <p>54. This approval shall be contingent upon the approval of the Tentative Parcel Map, and the conditions of said approval shall be implemented. The proposed subdivision shall occur in substantial conformance with Tentative Parcel Map No. 2022-113, submitted to the Planning Commission, and all conditions set forth herein.</p> <p>55. The proposed subdivision shall occur in substantial conformance with the plans and specifications approved through the City Planning Commission and City Council, and all conditions of said approval shall be implemented and incorporated herein.</p> <p>56. The Applicant shall provide Building Demolition Plans and Site Demolition Plans for the demolition of the existing Brea Mall building infrastructure. The Demolition Plans shall be prepared by a registered Civil Engineer, and be in accordance with City of Brea Standard Plans and standards, and be to the satisfaction of the City Engineer. Said plans shall include an Erosion and Sediment Control Plan identifying the State issued WDID number and the contact information for the person that is to be reached</p>	<p>5</p> <p>development phase to the satisfaction of the City Engineer. Said Construct Document Plans shall include an Erosion and Sediment Control Plan identifying the State issued WDID number and the contact information for the person that is to be reached in case of emergency;</p> <p>g. Solid Waste/Trash Collection Circulation Plan for the review and approval of City Traffic Engineer;</p> <p>h. On-site Circulation Plan as requested for the review and approval of the City Traffic Engineer.</p> <p>i. On-site Striping Plan as requested, prepared by a licensed Traffic Engineer, accordance with the latest version of the California Manual on Uniform Traffic Control Devices (CA MUTCD) design guidelines for the review and approval of City Traffic Engineer.</p> <p>59. The Applicant and/or developer of the applicable development phase shall maintain the Storm Water Pollution Prevention Plan during construction in accordance with NPDES guidelines, which shall incorporate all best management practices to mitigate pollutant runoff during construction.</p> <p>60. The Applicant and/or developer of the applicable development phase shall be responsible for the maintenance of all temporary and permanent Best Management Practices (BMP's) and associated infrastructure located on public or private property.</p> <p>61. The Applicant shall maintain all public and private drainage facilities associated with Tentative Parcel Map No. 2022-113 in good working order at all times.</p> <p>62. The Applicant and/or developer of the applicable development phase shall be responsible to obtain the permission to perform any work on adjacent private properties.</p> <p>63. No proposed trees; lighting structures, utility vaults or cabinets; structures with foot elements; building foundations, structural slabs, or building structural members; structures to be located within the footprint of the proposed underground infiltration chamber associated infrastructure. The Applicant and/or developer of the applicable development phase shall be responsible to repair and/or replace all infrastructure impacted by the construction of the underground infiltration chamber on the adjacent private property to the satisfaction of the City Engineer.</p> <p>64. All water and fire services shall be per the latest City of Brea Public Works Standards. All proposed domestic, irrigation, and fire services shall include backflow preventer to the satisfaction of the City Engineer and the Brea Fire Department.</p> <p>65. The Applicant shall install water meters, vaults, fire hydrants, FDC's, and above ground backflow prevention devices for all domestic, irrigation, and fire services a</p>	<p>systems, at locations to the satisfaction of the City Engineer and the Brea Fire Department. Easements shall be dedicated to the City for the maintenance, repair, and operation of all water meters, vaults, and fire hydrants.</p> <p>66. All proposed fire hydrant locations shall be subject to the review and approval of the City Engineer and Brea Fire Department. Installation of fire hydrants shall be in accordance with City of Brea Public Works Standards and all applicable building codes.</p> <p>67. Prior to the issuance of any occupancy release for any proposed development phase, the Applicant shall relocate all existing water meter and backflow prevention devices that are located within the existing, contiguous Brea Mall building, to a location outside of the building footprint and to the satisfaction of the City Engineer. The Applicant shall submit On-site Improvement Plans for said infrastructure relocation for the review and approval of the Building & Safety Division and the City Engineer. Said On-site Improvement Plans shall be prepared by a registered Civil Engineer, be in accordance with City of Brea Standard Plans and standards, and be to the satisfaction of the City Engineer and the Building & Safety Division.</p> <p>68. All proposed sewer laterals shall be per City of Brea Public Works Standards, and meet all City Building and Plumbing Code requirements, and be to the satisfaction of the City Engineer and the Building & Safety Division.</p> <p>69. The proposed development shall only be served by underground distribution utilities.</p> <p>70. Prior to the issuance of any building permits in a development phase, the Applicant shall pay all applicable impact fees and connection fees for the associated development phase as set forth in the City ordinances and in effect at the time of permit approval.</p> <p>71. Prior to the issuance of any building permit for any proposed development phase, the Applicant shall submit Public Improvement Plans for the review and approval of the City Engineer for all improvements proposed by the Applicant to be located within S. Randolph Avenue, including all proposed utility improvements, modifications, relocations, and/or connections located within the public right-of-way. Said improvements shall include all utility improvements as identified on the Tentative Parcel Map No. 2022-113, and that are required to facilitate the proposed private development to the satisfaction of the City Engineer. The removal, replacement, and/or relocation of all existing infrastructure or structures interfering with the proposed improvements. This includes, but is not limited to, existing water meters, backflow prevention, utility vaults, vent pipes, fire hydrants, signage, street lights, power poles and paving. The Public Improvement Plans shall be prepared by a registered Civil Engineer, and be in accordance with City of Brea Standard Plans and standards, and be to the satisfaction of the City Engineer. All improvements shall be constructed, including any field punch list items, prior to the issuance of any occupancy release for any proposed development phase. To the extent the</p>	<p>7</p> <p>8</p> <p>9</p> <p>10</p> <p>RA SMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF RA SMITH.</p> <p>THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.</p> <p>WDID NO.: 8 30C398406</p> <p>811</p> <p>Know what's below. Call before you dig.</p> <p>SHEET NUMBER</p> <p>C14</p>



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R.A. Smith, Inc.

DATE: 1/24/24

SCALE: N.T.S.

JOB NO. 3190291

PROJECT MANAGER:
CHRIS BRATTY

DESIGNED BY: CJN

CHECKED BY: RMK

SHEET NUMBER

C14

raSmith
CREATIVITY BEYOND ENGINEERING

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		LIFE TIME CONDITIONS OF APPROVAL									
		1600 BREA MALL, BREA, CA 92821									
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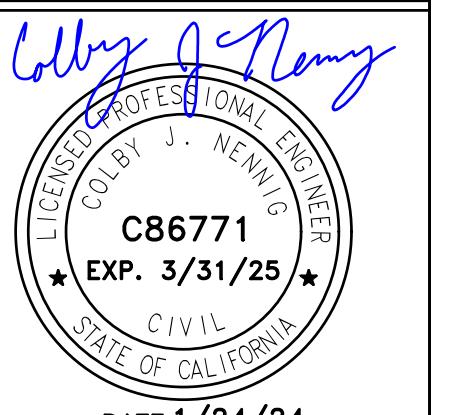
<p>No. 1 southbound travel lane into a "trap" left-turn lane leading directly to the left-turn pocket at Imperial Highway. As a result, the left-turn storage for the State College and Imperial Highway intersection would consist of one left-turn lane of approximately 260 feet in length and the second left-turn lane of approximately 625 feet in length.</p> <p>PPP TCR-1: Pursuant to California Health and Safety Code Section 7050.5, if human remains are discovered in the project site, disturbance of the site shall halt and remain halted until the coroner has conducted an investigation. If the coroner determines that the remains are not subject to his or her authority and has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the NAHC.</p> <p>TCR-1: Prior to the commencement of any ground disturbing activity at the project site, the project applicant shall retain a Native American Monitor approved by the Gabrieleno Band of Mission Indians-Kizh Nation—the tribe that consulted on this project pursuant to Assembly Bill 52 (the "Tribe" or the "Consulting Tribe")—and in concurrence with the City of Brea as the CEQA lead agency. A copy of the executed contract shall be submitted to the City of Brea Planning and Building Department prior to the issuance of any permit necessary to commence a ground-disturbing activity.</p> <p>i. The Tribal monitor shall only be present on-site during the construction phases that involve ground-disturbing activities. Ground disturbing activities are defined by the Tribe as activities that may include, but are not limited to, pavement removal, potholing or auguring, grubbing, tree removals, boring, grading, excavation, drilling, and trenching, within the project area.</p> <p>ii. The Tribal Monitor shall complete daily monitoring logs that provide descriptions of the day's activities, including construction activities, locations, soil, and any cultural materials identified.</p> <p>iii. The on-site monitoring shall be concluded when all ground-disturbing activities on the project site are completed, or when the Tribal Representatives and Tribal Monitor have indicated that all upcoming ground-disturbing activities at the project site have little to no potential for impacting Tribal Cultural Resources.</p> <p>TCR-2: If tribal cultural resources are inadvertently discovered during ground disturbing activities for this project. The following procedures will be carried out for treatment and disposition of the discoveries:</p> <p>i. Upon discovery of any Tribal Cultural Resources, construction activities shall cease in the immediate vicinity of the find (not less than the surrounding 100 feet) until the find can be assessed.</p> <p>ii. All Tribal Cultural Resources unearthed by project activities shall be evaluated by the qualified archaeologist and Tribal monitor approved by the Consulting Tribe. If the resources are Native American in origin, the Consulting Tribe will retain it/them in the form and/or manner the Tribe deems appropriate, for educational, cultural and/or historic purposes.</p>	<p>iii. If human remains and/or grave goods are discovered or recognized at the Project Site, all ground disturbance shall immediately cease, and the county coroner shall be notified per Public Resources Code Section 5097.98, and Health & Safety Code Section 7050.5. Human remains and grave/burial goods shall be treated alike per California Public Resources Code section 5097.98(d)(1) and (2).</p> <p>iv. Work may continue on other parts of the Project Site while evaluation and, if necessary, mitigation takes place (CEQA Guidelines Section 15064.5(f)). If a non-Native American resource is determined by the qualified archaeologist to constitute a "historical resource" or "unique archaeological resource," time allotment and funding sufficient to allow for implementation of avoidance measures, or appropriate mitigation, must be available. The treatment plan established for the resources shall be in accordance with CEQA Guidelines Section 15064.5(f) for historical resources and PRC Sections 21083.2(b) for unique archaeological resources.</p> <p>v. Preservation in place (i.e., avoidance) is the preferred manner of treatment. If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavations to remove the resource along with subsequent laboratory processing and analysis. Any historic archaeological material that is not Native American in origin shall be curated at a public, non-profit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, it shall be offered to a local school or historical society in the area for educational purposes.</p> <p>mmm. PPP USS-1: The project will pay the Sanitary Sewer Connection Fees collected by the City of Brea, which contribute to maintenance and installation of sewer improvements in the OCSD in accordance with Section 3.32.040, Sewer Service Fees and Charges, of the Brea Municipal Code.</p> <p>nnn. PPP USS-2: As part of the project review process, the City of Brea Engineering Division will require approval of a Final Sewer Study as part of the encroachment permit issuance. The City of Brea Engineering Division will require project design features to address sewer deficiencies within the Brea Mall and within the City's right-of-way on State College Boulevard. Additional design features to address the City of Engineer's requirements will be incorporated as conditions of approval for the project, such as installation of smart covers so that the City is notified if there is any backup in the sewer segment.</p> <p>ooo. PPP USS-3: The project will pay the water impact fees and water connection fees collected by the City of Brea, which cover costs to purchase water supplies and to operate and maintain the water distribution system in accordance with Ordinance 967.</p>	<p>ppp. PPP USS-4: Landscaping installed onsite shall conform to the California Green Building Standards Code and Water Efficient Landscape Ordinance requirements to increase landscape water efficiency.</p> <p>qqq. PPP USS-5: Plumbing fixtures installed onsite shall conform to California Green Building Standards Code requirements to increase water efficiency and reduce urban per capita water demand.</p> <p>rrr. PPP USS-6: The project would comply with the City's water conservation program during a drought or emergency situation, in accordance with Chapter 13.20, Water Management Program, of the City's Municipal Code.</p> <p>sss. PPP USS-7: The project will be constructed and operated in accordance with the Santa Ana Regional Water Quality Control Board Municipal Stormwater (MS4) Permit for Orange County. The MS4 Permit requires the proposed project to prevent and implement a WQMP to:</p> <ol style="list-style-type: none"> i. Control release of contaminants into storm drain systems. ii. Educate the public about stormwater impacts. iii. Detect and eliminate illicit discharges. iv. Control runoff from construction sites. v. Implement BMPs and site-specific runoff controls and treatments. <p>ttt. PPP USS-8: California's Green Building Standards Code (CALGreen) requires the recycling and/or salvaging for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste generated during most "new construction" projects (CALGreen Sections 4.408 and 5.408). Construction contractors are required to submit a construction waste management plan that identifies the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project, or salvage for future use or sale and the amount (by weight or volume).</p> <p>uuu. PPP USS-9: The project will abide by AB 341 and AB 1826. The project will store and collect recyclable materials in compliance with AB 341. Green waste will be handled in accordance with AB 1826.</p>	<p style="text-align: center;">ATTACHMENT A</p> <p style="text-align: center;">BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*</p> <p style="text-align: center;">Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Development Construction Projects/Certification Statement</p> <p><i>The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)</i></p> <ul style="list-style-type: none"> • Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind. • Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water. • Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system. • Non-stormwater runoff from equipment and vehicle washing and any other activity shall be contained at the project site. • Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste. • Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind. • Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means. • Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water. • Other: _____ <p>As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.</p> <p>Print Name <u>Brent Marlow</u> (Owner or authorized agent of the owner)</p> <p>Signature <u>Brent Marlow</u> (Owner or authorized agent of the owner)</p> <p>Date <u>1.17.24</u></p> <p><small>*The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, January 2003. www.calmpbooks.com</small></p> <p>Attachment A BMP Notes.doc</p>	<p>DATE</p> <p>DESCRIPTION</p>
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Irvine, CA 92618-4237
(949) 872-2338
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LIFE TIME
1600 BREA MALL, BREA, CA 92821

CONDITIONS OF APPROVAL



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R.A. Smith, Inc.

DATE: 1/24/24

SCALE: N.T.S

JOB NO. 3190291

PROJECT MANAGER:
CHRIS BRATTY

DESIGNED BY: CJN

CHECKED BY: RMK

SHEET NUMBER

C17

Project Number _____	
Form No. 1 City of Brea Waste Management Plan	
<p>Many of the materials generated from your project can be recycled. According to the Green Building Standards Code of the City of Brea and Chapter 8.29 of the Brea City Code, unless you are using Republic Services for all of your debris hauling you are required to identify materials that will be reused, recycled, or disposed from your project.</p> <p>The required goal is to reuse or recycle at least 65% of project waste.</p> <p>Project Name: <u>Lifetime - Brea, CA</u></p> <p>Location (Address): <u>1600 Brea Mall Road</u></p> <p>Building Type: <u>Athletic Country Club - Fitness Center</u> Project Cost: <u>\$45,000,000</u></p> <p>Square Footage or Number of Units: <u>84,766 SF</u></p> <p>Type of Project: <input checked="" type="checkbox"/> New Construction <input type="checkbox"/> Demolition <input type="checkbox"/> Tenant Improvement <input type="checkbox"/> Other:</p> <p>Type of Construction (wood frame, concrete, steel, etc.): <u>Structural Steel Frame - Type 2A</u></p> <p>Applicant: <u>Brent Marlow</u> Phone: <u>612.387.1398</u></p> <p>Company Name and Address: <u>Lifetime Property Development</u></p> <p><u>2900 Corporate Place Chanhassen, MN 55317</u></p> <p>Names of: (1) Waste Hauler and (2) Recycling Contractor for the Project: <u>Republic Services for both Waste Hauler and Recycling Contractor</u></p> <p>Part I. Submittal of Waste Management Plan (this form and Forms No. 2 and 3, attached) Before Issuance of Permit You are required to recycle or reuse 65% of the waste materials incurred on site. Use tons or cubic yards to quantify the total estimated waste and percentages for materials. A Conversion Rate table is attached. Ask your waste hauler, recycling dealer, or site cleanup vendor to assist you with this plan. Your building or demolition permit will not be issued until the Waste Management Plan has been submitted and approved. Submit these forms to the Public Works Office.</p> <p>For Office Use Only: <input type="checkbox"/> Public Works Department, Plan Check Approval <input type="checkbox"/> Required Project (addition or alteration) <input type="checkbox"/> Demolition Project <input type="checkbox"/> Waste Management Plan Approved <input type="checkbox"/> Exempt;</p> <p>Signature: _____ Date: _____</p> <p>Part II. Submittal of Documentation (Forms No. 2 and 3 plus receipts) At Project Completion, Before Final (Documentation MUST demonstrate that 65% of the materials were recycled or reused or that Republic Services was used for all hauling.) Documentation must include receipts of all recycling and disposal or a report from the recycling dealer identifying amount of waste recycled and disposed. The Building Inspector will not final your project until documentation has been submitted and approved. Submit documentation to the Public Works Office.</p> <p>For Office Use Only: <input type="checkbox"/> Public Works Department, Final Approval <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> Further Information Required: Signature: _____ Date: _____</p>	

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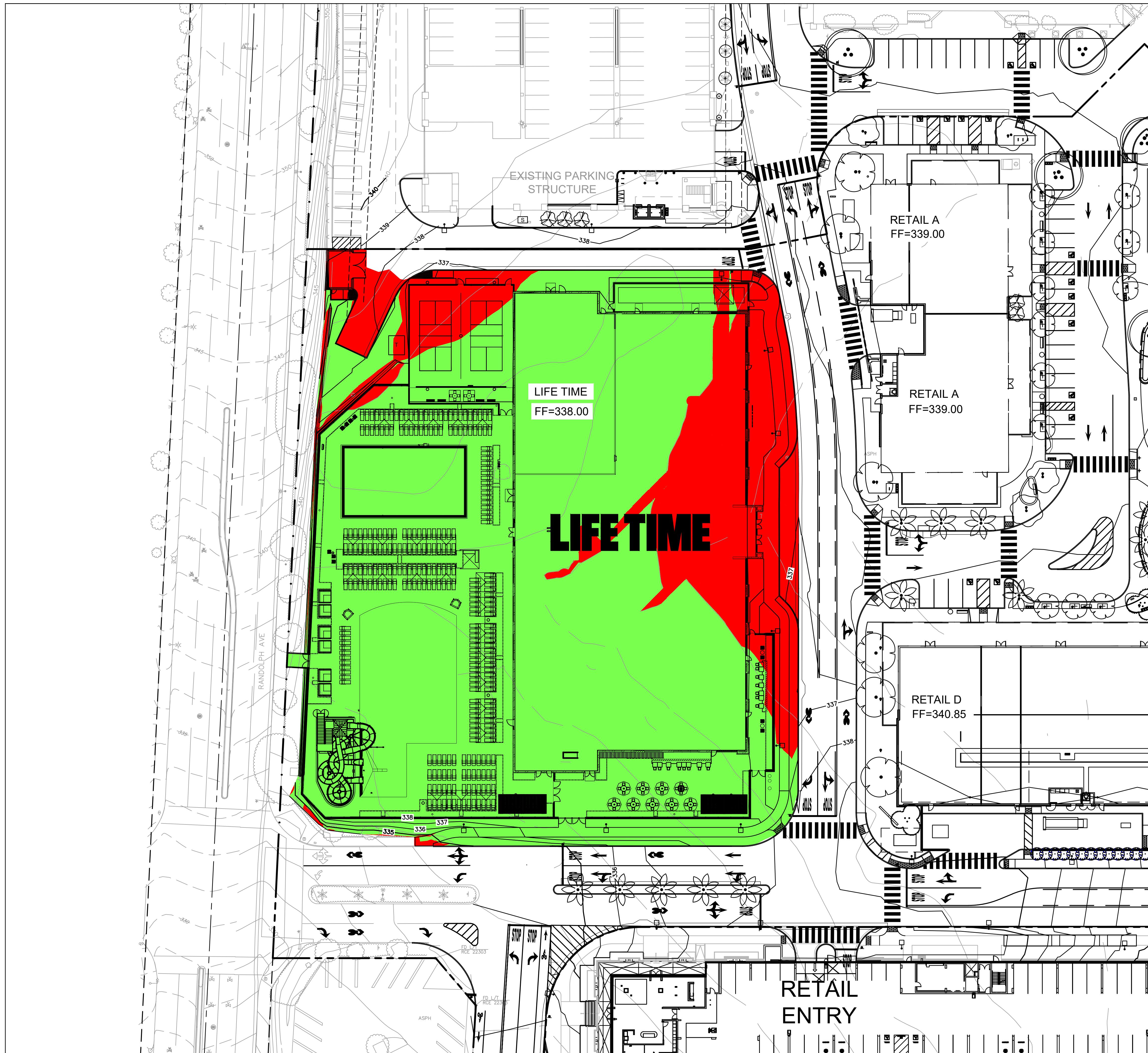
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Did you recycle your jobsite waste in the past? <input type="checkbox"/> Yes <input type="checkbox"/> No											
Did you use a jobsite cleanup service to recycle your waste? <input type="checkbox"/> Yes <input type="checkbox"/> No											
Did you have difficulties finding recycling vendors? <input type="checkbox"/> Yes <input type="checkbox"/> No											
If there are no plans to recycle jobsite waste, explain why:											

FOR ANY RECYCLING/TRASH HAULING: The contractor/owner and hauler must verify by name and signature any containers used are for recycling purposes, are used at no cost to the contractor/owner, and the contractor/owner receives remuneration for the recycled product. Any other use is in direct violation of the City's Waste Hauling Franchise Agreement and containers will be impounded at the owner's expense.											
Owner/Contractor Name (Print): _____											
Recycling Hauler Name (Print): _____											
Recycling Hauler Name (Signature): _____											
Prepared by: _____ Date: _____											
Signature: _____											

Rev. 10/14/2020

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Elevations Table				
Number	CUT	FILL	Area	Color
1	-2.72	0.00	24608.97	■ Red
				■ Green

CUT/FILL ESTIMATE OF EARTHWORK

CUT: 555 CY
FILL: 4,350 CY

NET IMPORT: 3,795 CY

OVEREXCAVATION: 14,810 CY

CUT/FILL IS BASED ON THE ASSUMPTION THAT EXISTING PAD WILL BE GRADED TO FINAL ELEVATION PER THE OVERALL DEVELOPER. THE GEOTECHNICAL REPORT, SECTION 4.3.2 SPECIFIES THAT THE REMOVAL/REPLACEMENT BELOW THE BUILDING FOOTPRINT AND POOL DECK AREA SHALL BE EXTENDED 5' BELOW THE EXISTING GRADE OR 3' BELOW THE FOOTINGS, WHICHEVER IS DEEPER. THE CUT/FILL ANALYSIS ABOVE IS BASED ON THIS INFORMATION AND DOES NOT ACCOUNT FOR LANDSCAPE DEPRESSIONS, SHRINKAGE, AND UTILITY TRENCHING.

EARTHWORK QUANTITIES PROVIDED FOR PERMITTING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID AND CONSTRUCTION PURPOSES. ANY EXPORT OR IMPORT TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

DESCRIPTION	DATE
8911 Research Drive Irvine, CA 92618-4237 (949) 872-2378 rasmith.com	---
raSmith CREATIVITY BEYOND ENGINEERING	---
LIFE TIME 1600 BREA MALL, BREA, CA 92821	---
CUT-FILL EARTHWORK EXHIBIT	---
Colby J. Neary LICENCED PROFESSIONAL ENGINEER C86771 EXP. 3/31/25 CIVIL STATE OF CALIFORNIA DATE 1/24/24	---
© COPYRIGHT 2024 R.A. Smith, Inc. DATE: 1/24/24 SCALE: AS SHOWN JOB NO. 3190291 PROJECT MANAGER: CHRIS BRATTY DESIGNED BY: HMF CHECKED BY: CJN SHEET NUMBER C18	---



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RA SMITH ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF RA SMITH.
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

WDID NO.: 8 30C398406

GRAPHIC SCALE
15 0 7.5 15 30 60
1 (IN FEET) ft.