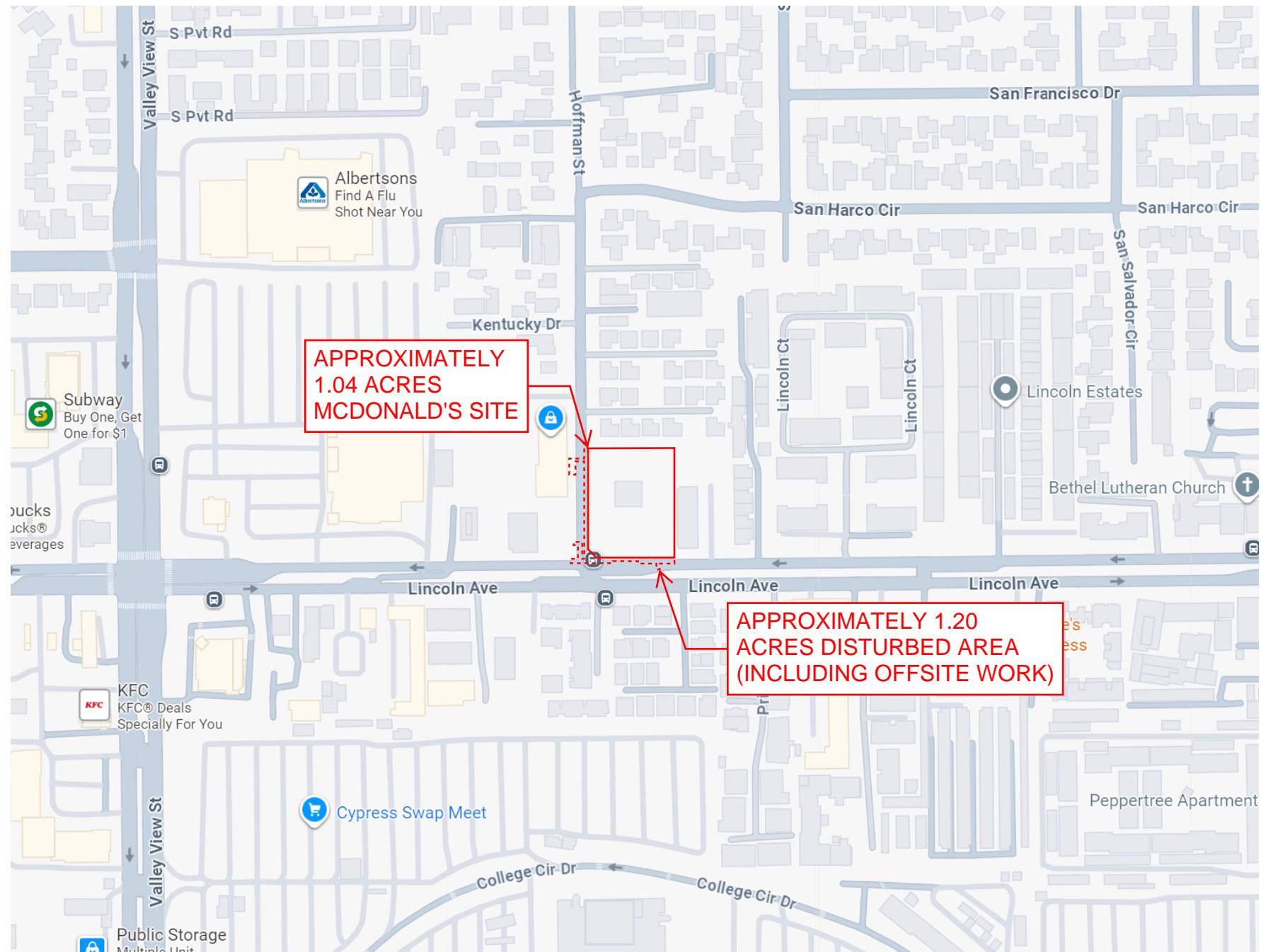
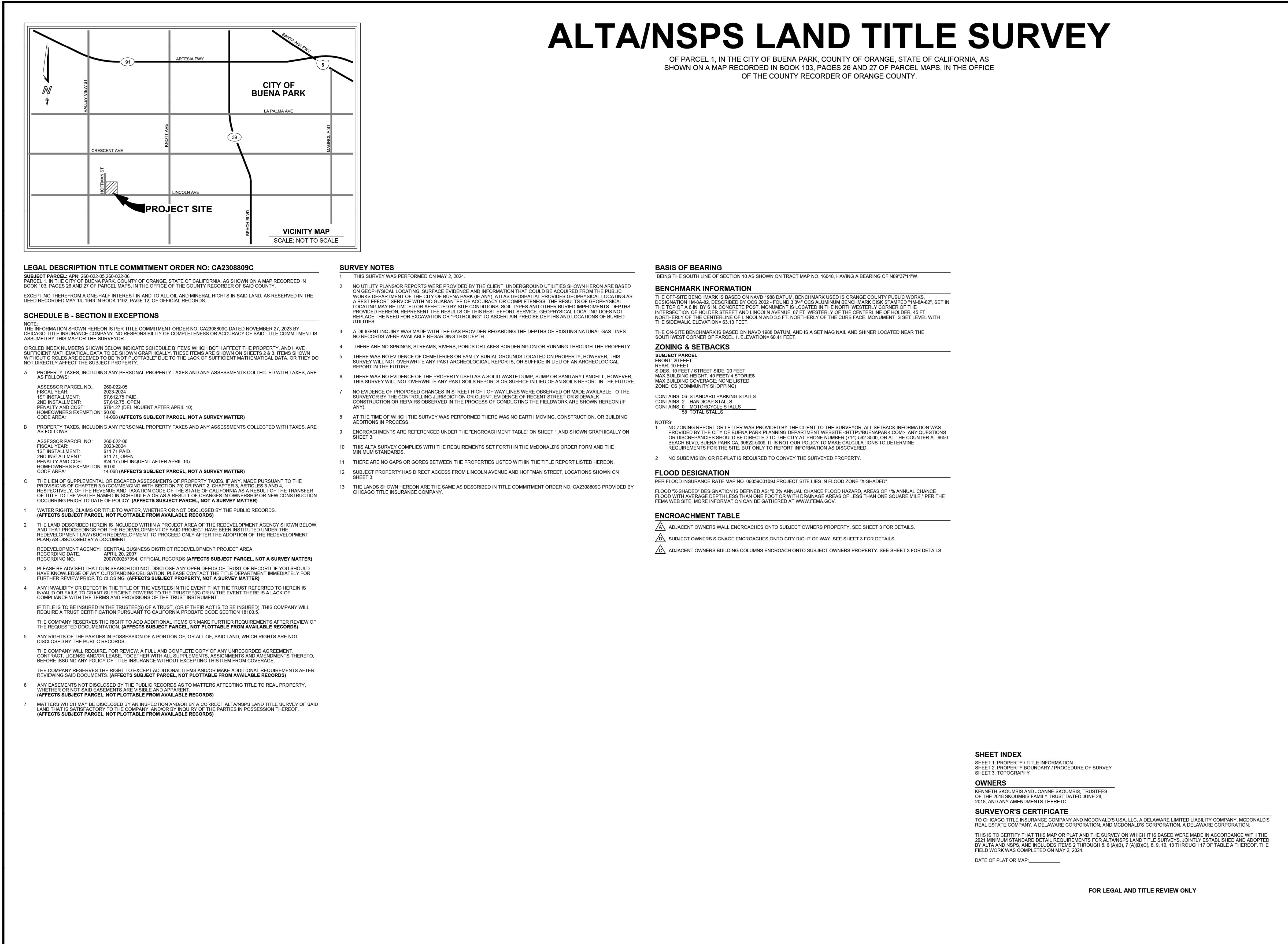


VICINITY MAP



LOCATION MAP





THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS - ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL. REPRODUCTION OR USE OR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS PROHIBITED.

ALTA/NSPS LAND TITLE SURVEY
FOR McDONALD'S 004-5199
6201 LINCOLN AVENUE, CITY OF
BUENA PARK, COUNTY OF ORANGE
STATE OF CALIFORNIA

PROJECT NUMBER: 004-5199		
DWG NAME: 24020 BUENA PK LINCOLN MCD ALTA		
PREPARED BY: CJADAM DATE: 05-20-2024		
CHECKED BY: JAWWW DATE: 05-20-2024		
REVISION 0	SHEET 1	1 OF 3

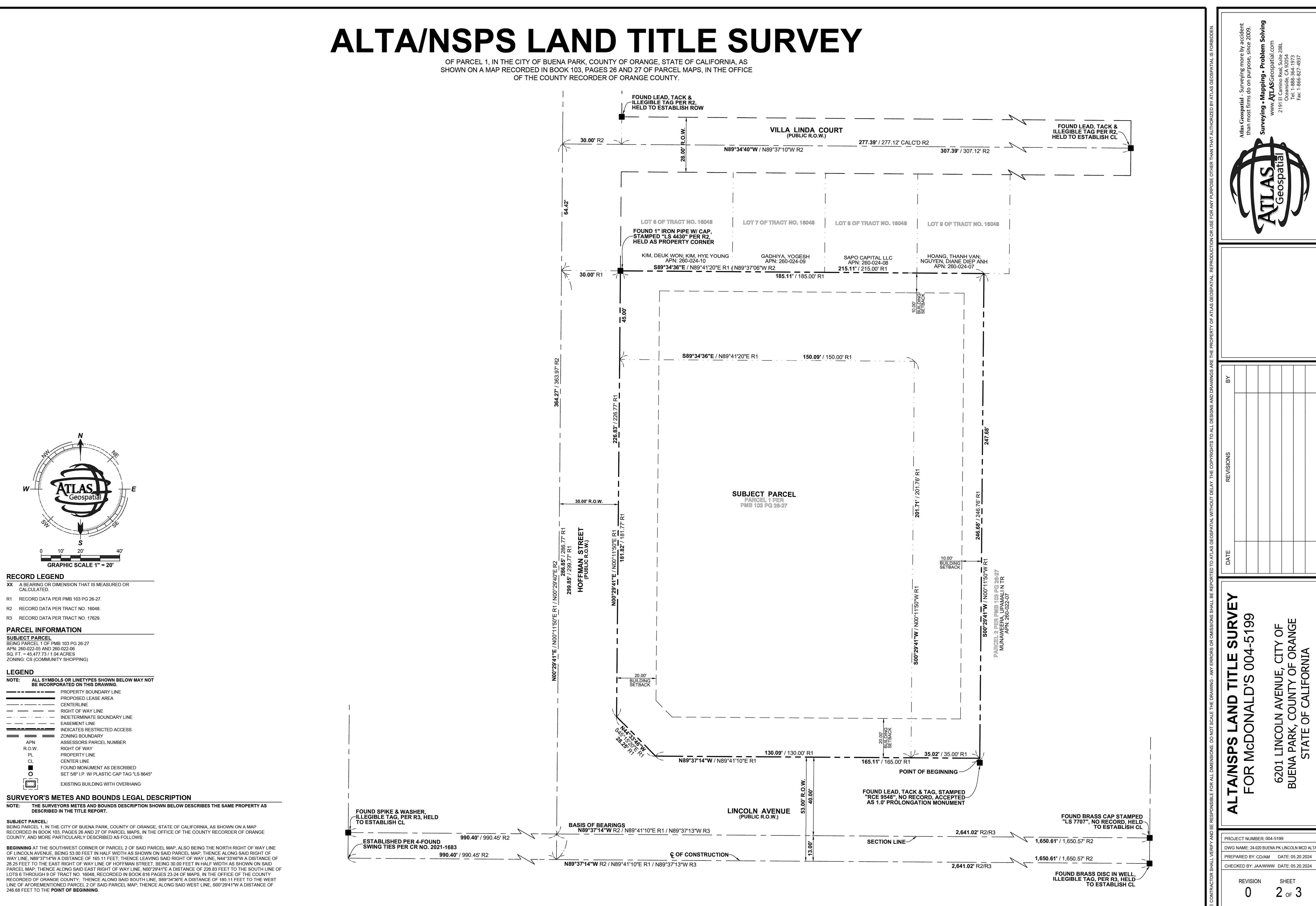
GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EXISTING CONDITIONS

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
					APPROVED:
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION= 60.41 FEET

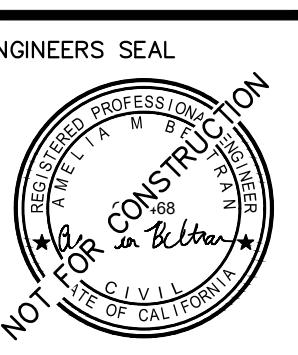
GP-
REV. NO:
SHEET 2 OF 18

ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



NOT TO SCALE
FOR REFERENCE ONLY



Kimley » Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran DATE: 10/23/2022
AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027

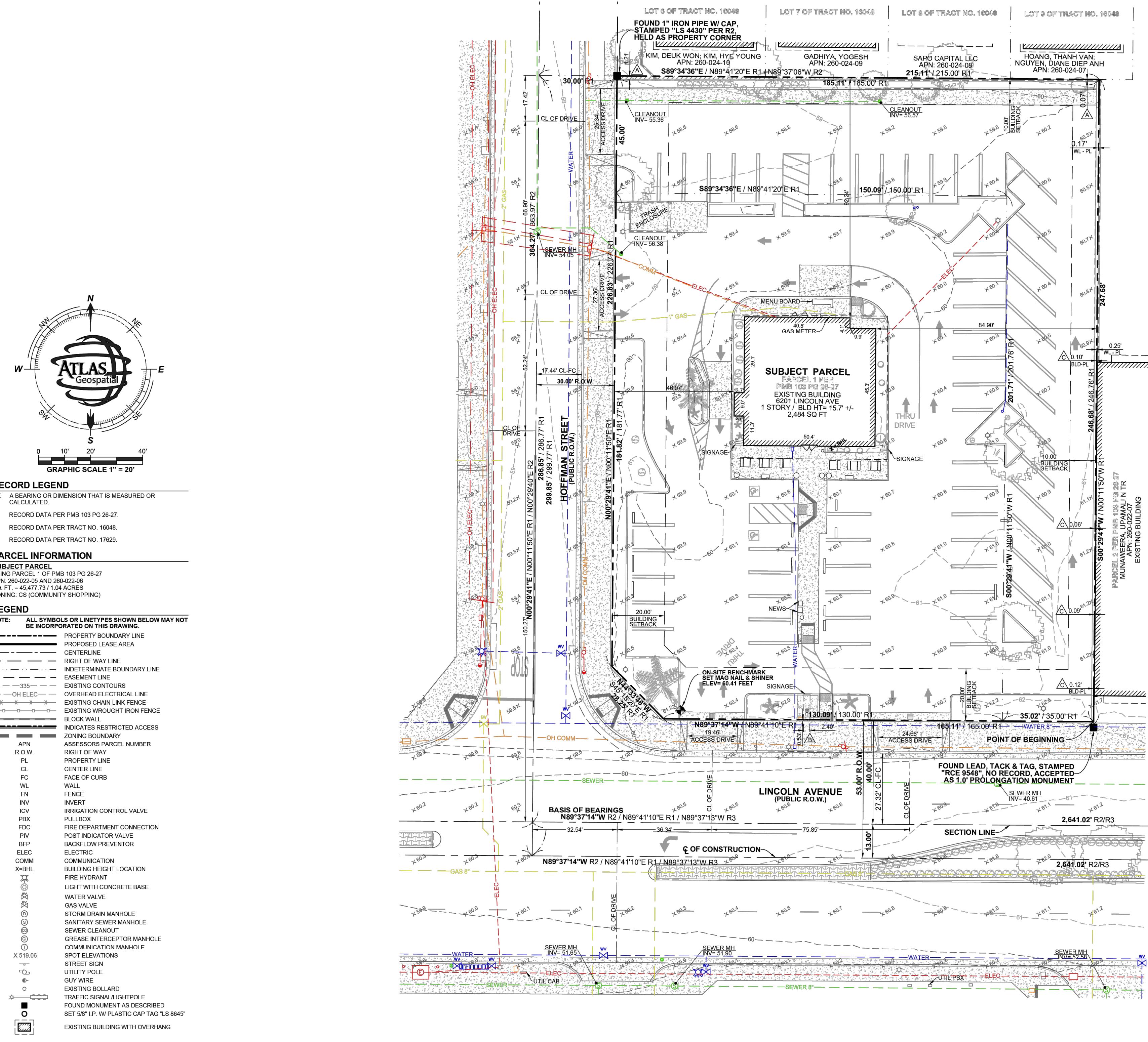


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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602						REFERENCES:	
EXISTING CONDITIONS							
REVISIONS				CHECKED: AMELIA BELTRAN		GP-	REV. NO.
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:		
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BY	REVISIONS
DATE	

ALTA/NSPS LAND TITLE SURVEY FOR McDONALD'S 004-5199	
6201 LINCOLN AVENUE, CITY OF BUENA PARK, COUNTY OF ORANGE STATE OF CALIFORNIA	
PROJECT NUMBER: 004-5199	DWG NAME: 24200 BUENA PK LINCOLN MCD ALTA
PREPARED BY: CDIAM	DATE: 05/20/2024
CHECKED BY: JAWWW	DATE: 05/20/2024
REVISION 0	SHEET 3 OF 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE CONTRACTOR SHALL NOT REPRODUCE OR USE OR MANUFACTURE ANY DRAWINGS OR INFORMATION CONTAINED IN THIS DRAWING WITHOUT THE EXPRESS WRITTEN CONSENT OF ATLAS GEOSPATIAL.

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Amelia Beltran
DATE: 10/23/2025
AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027



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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EXISTING CONDITIONS

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NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
					APPROVED:

GP-	REV. NO.

SHEET 4 OF 18

- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PARTS OF THE PLANS THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AGENCIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPographic SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER AND ENGINEER. GUARANTEES OF THE EXISTENCE OF CERTAIN UNPLOTTED UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR INCURRED BECAUSE OF THE CONTRACTOR'S FAILURE IN THE VICINITY OF EXISTING UTILITIES, OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY. THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS REQUIRED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES AND AS PERTAINS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
- ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL BILING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
- ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES WILL BE CHECKED BY PUBLIC WORKS DEPARTMENT. IF THE ENGINEER, IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

DESIGN ENGINEER NOTES

- THE TERM "DESIGN ENGINEER" USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED HIS/HER RESPECTIVE PLAN SHEETS AND IS IN RESPONSIBLE CHARGE OF THE ENGINEERING DESIGN ON THOSE SHEETS. THE TERM "CONTRACTOR" USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS.
- THE DESIGN ENGINEER SHALL NOT PROVIDE, OBSERVE, COMMENT OR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, IMPLEMENT, AND MAINTAIN ALL SAFETY MEASURES, STANDARDS, AND PROCEDURES FOR THE CONSTRUCTION OF SAFETY MEASURES, PROCEDURES AND PROGRAMS AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY TO DIRECT OR STOP THE WORK OF ANY CONTRACTOR.
- ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
- THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
- IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFQ IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED OR IMPACTED WORK. ANY ELECTRONIC FILES ARE PROVIDED ONLY FOR THE PURPOSE OF THE DESIGN ENGINEER AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS DESIGNATED AS ISSUED FOR CONSTRUCTION*, OR EQUIVALENT DESIGNATION, SHALL BE REPLIED UPON.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID IN WHOLE AND IN PART BASED UPON DESIGN SHOWN IN THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.
- ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
- THE EXISTENCE, LOCATION, TYPE, CONDITION AND SIZE OF UNDERGROUND UTILITIES, FACILITIES OR STRUCTURES (FACILITIES) SHOWN ON THESE PLANS WAS OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS AS PROVIDED OTHERS, NOT THE CONTRACTOR, IS RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. THE CONTRACTOR SHALL CONFIRM SAID INFORMATION BY FIELD MEASUREMENTS, OBSERVATIONS AND WHATEVER MEANS NECESSARY, PRIOR TO CONSTRUCTION. THE CONTRACTOR WILL IMMEDIATELY INFORM THE DESIGN ENGINEER IN WRITING IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND. THE CONTRACTOR SHALL PROTECT THE FACILITIES SHOWN HEREIN AND OWNERSHIP OF THE CONTRACTOR SHALL NOT AFFECT THE PLANS AS NEEDED. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES AS NEEDED, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL SUCH FACILITIES WHETHER NOTED ON THESE PLANS OR NOT. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COSTS INCURRED BECAUSE OF THE CONTRACTOR'S FAILURE TO LOCATE EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER AND/OR AUTHORITY HAVING JURISDICTION AS NEEDED.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK ADJACENT TO, ABOVE OR BELOW THEIR FACILITIES AND SHALL COORDINATE ALL WORK WITH UTILITY COMPANY REPRESENTATIVES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED GRADING ELEMENTS BEFORE THE START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- UNLESS EXPRESSLY STATED OTHERWISE HEREIN, THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASI SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S) AS FINISHED GROUND, FINISHED SURFACE, AND FINISHED FLOOR ELEVATION. THE CONTRACTOR SHALL NOT USE THE CONTOURS AND SPOT GRADES ON THE BASI SURVEY AS PERMITTING PURPOSES ONLY, UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND grubbing, shrinkage, subsidence, over-excavation and re-compaction, and construction methods used in the actual work. THE CONTRACTOR SHALL NOT USE THE CONTOURS AND SPOT GRADES ON THE BASI SURVEY AS PERMITTING PURPOSES ONLY, UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND grubbing, shrinkage, subsidence, over-excavation and re-compaction, and construction methods used in the actual work.
- PROPOSED BUILDING PAD ELEVATIONS, IF SHOWN, ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. CONTRACTOR SHALL CONFIRM SLAB STRUCTURAL SECTION THICKNESSES AND PAD PREPARATION REQUIREMENTS PRIOR TO GRADING FINISHED PADS.
- THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- THE PROPOSED BUILDING FOOTPRINT(S) AND OTHER STRUCTURE FOOTPRINTS SHOWN IN THESE PLANS WERE PROVIDED TO THE DESIGN ENGINEER BY THE PROJECT ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OF THESE FOOTPRINTS AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING WITH THE RELEVANT DESIGN TEAM PROFESSIONALS, AND USING THE FINAL, CORRECT VERSION OF THE FOOTPRINT, THAT THE CONTRACTOR IS LAID OUT FOR PLACEMENT OF THE STRUCTURE'S FINAL POSITION ON THE SITE BASED UPON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL PLANS, SURVEY AND ANY OTHER RELEVANT DOCUMENTS. ANY DIFFERENCES FOUND SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER AND OWNER/PROJECT ARCHITECT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT THE PROJECT PROPERTY FROM AN ENGINEER'S PERSPECTIVE. THIS INCLUDES, BUT IS NOT LIMITED TO, THE USE OF APPROPRIATE MEANS OR BY SPECIFIC MEANS DESCRIBED IN THE PROJECT'S PLANS, SPECIFICATIONS OR STORM WATER POLLUTION PREVENTION REPORT, UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND THE AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY TO DIRECT THE CONTRACTOR REGARDING THE MEANS AND METHODS OF STORMWATER POLLUTION PREVENTION, SEQUENCE OR SCHEDULE.
- ALL SHOP DRAWINGS, RFIS AND ANY OTHER DOCUMENTS THAT REQUIRE DESIGN ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, TO ALLOW ADEQUATE REVIEW, COORDINATION AND RESPONSE. SAID DOCUMENTS ARE NOT A DIRECTION FROM THE DESIGN ENGINEER TO MODIFY THE CONTRACTOR'S SCOPE, SCHEDULE OR PRICE, AND THE CONTRACTOR WARRANTS NOT TO USE THEM AS SUCH.
- THE CONTRACTOR SHALL ENSURE APPROPRIATE LICENSED PROFESSIONALS HAVE BEEN RETAINED BY THE CONTRACTOR TO PROVIDE ANY/ALL REQUIRED PROJECT CERTIFICATIONS AS MAY BE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION. THE DESIGN ENGINEER WILL NOT PROVIDE ANY PROJECT CERTIFICATIONS UNLESS SPECIFICALLY RETAINED BY THE OWNER TO PROVIDE LIMITED SERVICES.
- CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO DOCUMENT ALL CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS DURING CONSTRUCTION. THE LICENSED SURVEYOR SHALL PREPARE A SIGNED AND SEALED "AS-BUILT" DRAWING UPON COMPLETION OF CONSTRUCTION. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE PREPARATION IN WHOLE OR IN PART OF THE "AS-BUILT" DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND RELOCATED WITH APPROPRIATE COORDINATES BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORDED OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE MOST CURRENT VERSION OF THE LAND SURVEYORS ACT.



Kimley»Horn

180 EAST OCEAN BLVD. SUITE 1200
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(562) 549-2200PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran, R.C.E. NO. 87468
DATE: 10/23/2025
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EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED, AND SHALL REGRADE WASHBOS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
- ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH ROCK UNLESS INDICATED OTHERWISE IN THE LANDSCAPE PLAN.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
- WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOIN AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
- WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOIN AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- IF Dewatering is required, the contractor shall obtain any applicable required permits. The contractor is to coordinate with the owner and the design engineer prior to any excavation.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCAFFOLDING THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTANTANEOUS DISCHARGE OF TURBIDITY AT ALL LOCATIONS WHERE THE POSSIBILITY EXISTS OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTING DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- TO DUE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

DEMOLITION NOTES

- ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- LOCATE WITHIN THE PROJECT SITE, UNLESS OTHERWISE INDICATED, ALL EXISTING UTILITIES, FACILITIES, STRUCTURES, CLABS, CONCRETE, SPHALS, DEBRIS, PILES, SIGNS, AND ALL APPEARANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THE DEMOLITION PLAN FOR THE LIMITS OF ASPHALT REMOVAL (THE EXISTING PARKING LOT IS TO REMAIN). IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT REMOVED. ANY ITEMS IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/ PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
- CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.
- REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE INDICATED, ALL EXISTING UTILITIES, FACILITIES, STRUCTURES, CLABS, CONCRETE, SPHALS, DEBRIS, PILES, SIGNS, AND ALL APPEARANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THE DEMOLITION PLAN FOR THE LIMITS OF ASPHALT REMOVAL (THE EXISTING PARKING LOT IS TO REMAIN). IT IS THE CONTRACTOR'S RESPONSIBILITY TO USE THE ESTIMATES HEREIN FOR BIDDING AND CONSTRUCTION PURPOSES WITHOUT REMOVED. ANY ITEMS IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER-TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPE CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING, AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS A CRACK IN THE COATING OR LINING, IN THE JACKET, IN THE BODY OF THE PIPE, OR WHICH IS DEFECTIVE IN ANY WAY, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE GOVERNING JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXTRAPLATION, TELEVISION INSPECTION AND A MANDEL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

PAVING, GRADING AND DRAINAGE NOTES

- ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR CALTRANS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1556-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/3017 IN FINE GRAINED, COHESIVE SOILS,

DESIGN CRITERIA

1. BUILDING CODE - CALIFORNIA BUILDING CODE 2022
2. REFERENCE STANDARDS
 - A. ASCE 7-16: MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES
 - B. ACI 318-19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

FOUNDATIONS

1. FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY LEIGHTON A VERDANTAS COMPANY DATED JUNE 3, 2024, WHICH IS INCORPORATED HEREIN BY REFERENCE. ALL FOUNDATION AND SUBGRADE RECOMMENDATIONS SHALL BE FOLLOWED. THE GEOTECHNICAL REPORT IS AVAILABLE TO THE GENERAL CONTRACTOR. THE ARCHITECT AND ENGINEER WILL NOT BE RESPONSIBLE FOR THE ACCURACY OR APPLICABILITY OF SUCH DATA THEREIN.

2. SOIL CRITERIA:	ALLOWABLE BEARING PRESSURE	1500 PSF
	ACTIVE EARTH PRESSURE	40 PSF/FT
	PASSIVE EARTH PRESSURE	360 PSF/FT
	FRiction COEFFICIENT	0.35

3. SUBGRADE FILL AND EXCAVATION REQUIREMENTS SHALL BE AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

STRUCTURAL GENERAL NOTES

1. THIS STRUCTURAL DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, ARE INSTRUMENTS OF SERVICE AND ARE INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.
2. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, ARCHITECTURAL, MEP, AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
3. THE CONTRACTOR SHALL REFER TO THE ENGINEER FOR INSTRUCTIONS FOR ANY DIMENSION NOT GIVEN ON OR OBTAINABLE FROM THE DRAWINGS. THE CONTRACTOR SHALL NOT USE SCALE TO OBTAIN OR VERIFY ANY DIMENSION SHOWN ON THESE DRAWINGS.
4. ALL EXISTING INFORMATION INDICATED ON THE CONSTRUCTION DRAWINGS HAS BEEN PROVIDED BY OTHERS, AND SHOULD NOT BE ASSUMED TO BE ACCURATE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DIMENSIONS AND LOCATIONS OF ANY EXISTING ELEMENTS AS NECESSARY TO COMPLETE THE SCOPE OF WORK.
5. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFI IN WRITING TO THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED OR IMPACTED WORK. ANY ELECTRONIC FILES ARE PROVIDED ONLY FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS DESIGNATED AS "ISSUED FOR CONSTRUCTION", OR EQUIVALENT DESIGNATION, MAY BE RELIED UPON.
6. IT IS UNDERSTOOD THAT THE STRUCTURAL ENGINEER OF RECORD MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, AS TO FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE, EXCEPT THAT THESE INSTRUMENTS OF SERVICE HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRACTICES.
7. ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
8. ALL NON-STRUCTURAL ELEMENTS INDICATED ON THE STRUCTURAL DRAWINGS HAVE BEEN SHOWN IN GENERAL RELATIONSHIP TO THE STRUCTURAL ELEMENTS. ACCORDINGLY, THEY SHALL NOT BE ASSUMED TO BE ACCURATE AND REFERENCE MUST BE MADE TO THE APPROPRIATE CONSULTANT(S) PLANS AND SPECIFICATIONS.
9. WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER OF RECORD IS REQUIRED FOR ALL FIELD MODIFICATIONS TO THE STRUCTURAL SYSTEM INCLUDING, BUT NOT LIMITED TO, BEAM AND COLUMN CONNECTIONS, JOIST CONNECTIONS, JOIST BRIDGING, CUTTING OR DRILLING THROUGH ANY STRUCTURAL ELEMENT, ETC.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE WEIGHT AND SPECIFIC LOCATION OF ALL EQUIPMENT WITH THE STRUCTURAL FRAMING. IF THE EQUIPMENT DEVIATES IN WEIGHT OR LOCATION FROM THOSE INDICATED IN THE DRAWINGS, THE STRUCTURAL ENGINEER'S APPROVAL MUST BE OBTAINED PRIOR TO INSTALLATION OF THE UNITS.
11. ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY, ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
12. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
13. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THE DESIGN SHOWN ON THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.

CONSTRUCTION SAFETY

1. IT IS UNDERSTOOD THAT THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PERSONS AND PROTECT THEM AGAINST INJURY. LIKEWISE, THE CONTRACTOR SHALL PROTECT ALL PROPERTY AGAINST DAMAGE AND LOSS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS AND PROPERTY.
3. THE CONTRACTOR'S DUTIES AND RESPONSIBILITIES FOR THE SAFETY AND PROTECTION OF THE WORK SHALL CONTINUE UNTIL SUCH TIME AS THE WORK IS SATISFACTORILY COMPLETED, AND THE ENGINEER HAS ISSUED A NOTICE TO THAT EFFECT TO THE OWNER AND THE CONTRACTOR.
4. THE STRUCTURE WAS DESIGNED FOR THE IN-SERVICE CONDITIONS ONLY. THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
5. DRAWINGS DO NOT INDICATE TEMPORARY REQUIREMENTS. THE NEED FOR TEMPORARY SHORING AND BRACING, TEMPORARY Dewatering, TEMPORARY EARTH RETENTION, TEMPORARY WATER CUTOFF OR OTHER TEMPORARY MEASURES MAY BE INDICATED ON DRAWINGS AT SELECTED AREAS AS SUGGESTIONS FOR THE CONTRACTOR'S CONVENIENCE. THE DRAWINGS DO NOT IDENTIFY ALL AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM TEMPORARY MEASURES INDICATED ON THE DRAWINGS, IDENTIFY OTHER AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES, DETERMINE MOST EFFICIENT TEMPORARY SYSTEMS, AND DESIGN AND CONSTRUCT REQUIRED TEMPORARY SYSTEMS. ALL TEMPORARY SYSTEMS SHALL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE IN WHICH THE PROJECT IS LOCATED.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION MEANS AND METHODS THAT WILL NOT IMPACT ADJACENT INFRASTRUCTURE.

CAST IN PLACE CONCRETE

1. PROVIDE CONCRETE ATTAINING A MINIMUM COMPRESSIVE STRENGTH AT 28 ('f'c) AS FOLLOWS, UNLESS NOTED OTHERWISE:

USE	DESIGN	WEIGHT	MAX AGGREGATE SIZE	MAX W/C	SLUMP	INSPECTION
RETAINING WALLS	3,000 PSI	NORMAL WEIGHT	1"	0.50	4"±1 MAX	NO
2. ALL CONCRETE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CBC CHAPTER 19 & ACI-318, LATEST CODE ADOPTED EDITION.
3. ALL REINFORCING SHALL BE DETAILED, FABRICATED & PLACED IN ACCORDANCE WITH CRSI "MANUAL OF STANDARD PRACTICE", LATEST EDITION.
4. ALL CAST IN PLACE CONCRETE AND POST INSTALLED ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH CHAPTER 17 OF ACI 318 AS MODIFIED BY THE APPLICABLE BUILDING CODE.
5. SPACING OF CONSTRUCTION OR CONTROL JOINTS IN WALLS EXPOSED TO VIEW SHALL NOT EXCEED 30 FEET UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. CUT HALF OF THE HORIZONTAL REINFORCING AT CONTROL JOINTS.
6. SLEEVES EMBEDDED IN SLABS AND WALLS SHALL BE LOCATED CLEAR BETWEEN REINFORCING BARS AND SHALL MAINTAIN CLEAR SPACING EQUAL TO THE DIAMETER OF THE LARGEST SLEEVE IN ANY DIRECTION. SLEEVE GROUPS THAT DO NOT COMPLY WITH THE ABOVE REQUIREMENTS SHALL BE CONSIDERED AS AN OPENING AND REINFORCED PER NOTE BELOW.
7. UNLESS NOTED OTHERWISE ON THE DRAWINGS: PROVIDE EXTRA REINFORCING ON ALL SIDES OF ALL MISCELLANEOUS WALL AND SLAB OPENINGS EQUAL TO ONE HALF THE INTERRUPTED REINFORCING BARS EACH SIDE BUT NOT LESS THAN 2 - #4 FOR EACH LAYER OF REINFORCEMENT. EXTEND BARS CLASS 'B' LAP LENGTH BUT NOT LESS THAN 2 FEET BEYOND EDGE OF OPENINGS. PROVIDE 2 - #4X4"-0" DIAGONAL BARS AT EACH CORNER FOR EACH LAYER OF REINFORCEMENT.
8. NO DRILLING THROUGH WALLS SHALL BE CARRIED OUT EXCEPT WITH THE SPECIFIC APPROVAL OF THE ENGINEER. SUCH APPROVAL, IF GRANTED, SHALL BE ON A CASE BY CASE BASIS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REINFORCEMENT LAYOUT USING NON-DESTRUCTIVE TESTING PRIOR TO DRILLING INTO CAST CONCRETE.
9. DETAILING OF REBAR SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ACI DETAILING MANUAL, AND CONCRETE REINFORCING INSTITUTE'S LATEST EDITION OF "MANUAL OF STANDARD PRACTICE". ALL SHOP DRAWINGS PERTAINING TO REBAR DETAILS SHALL BE SUBMITTED TO THE ENGINEER FOR THEIR REVIEW. CONCRETE MIX DESIGN FOR ALL CONCRETE WORK IS REQUIRED TO BE SUBMITTED TO THE ENGINEER FOR REVIEW.
10. CONCRETE SUPPLIER SHALL HAVE A QUALITY CONTROL PROCEDURE FOR THE PRODUCTION OF ALL CONCRETE, WHICH MUST BE ACCEPTABLE TO THE ENGINEER AND MEETS CURRENT ACI STANDARDS.
11. CONSTRUCTION JOINTS SHALL BE AS APPROVED BY THE STRUCTURAL ENGINEER.
12. MATERIAL PROPERTIES:

	ASTM	FY KSI
A. ALL BARS UNLESS NOTED	A615	60
B. TIES & STIRRUP	A615	60
C. WELDED WIRE FABRIC (SMOOTH)	A185	65
13. LAP SPLICES ARE ALL CLASS B TENSION LAP SPLICES, UNO.
14. PROVIDE A 3/4" CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE.
15. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT

TABLE 20.6.1.3.1 - SPECIFIED CONCRETE COVER FOR CAST-IN-PLACE NON-PRESTRESSED CONCRETE MEMBERS			
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER
CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE GROUND	ALL	ALL	3"
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	NO. 6 THRU NO. 18	2"
		NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	NO. 14 THRU NO. 18 BARS	1 1/2"
		NO. 11 BARS AND SMALLER	3/4"
	BEAMS, COLUMNS, PEDESTRALS, AND TENSION TIES	PRIMARY REINFORCEMENT, STIRRUPS, TIES, SPIRALS, AND HOOPS	1 1/2"

FORMWORK, SHORING, AND RESHORING

1. THE CONTRACTOR SHALL EMPLOY, AT THEIR EXPENSE, A FORMWORK/SHORING ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED TO CONTROL ALL OPERATIONS RELATING TO DESIGN, INSTALLATION AND REMOVAL OF ALL FORMWORK, SHORING AND RESHORING.
2. PRIOR TO PLACEMENT OF CONCRETE, THE FORMWORK/SHORING ENGINEER SHALL INSPECT THE SHORING AFTER THE FIRST POUR TO VERIFY THAT THE SHORING INSTALLATION IS IN CONFORMANCE WITH THE SHORING SHOP DRAWINGS. IF ANY CHANGES ARE MADE TO THE METHOD OF SHORING DURING CONSTRUCTION, THE SHORING ENGINEER MUST INSPECT THE FIRST POUR AREA SUPPORTED BY THE CHANGED SHORING METHOD PRIOR TO PLACEMENT OF CONCRETE. A WRITTEN STATEMENT OF COMPLIANCE SIGNED BY THE SHORING ENGINEER SHALL BE SUBMITTED TO THE OWNER.

SPECIAL INSPECTIONS

1. THIS PROJECT IS EXEMPT FROM SPECIAL INSPECTION PER CBC SECTION 1704.2, EXCEPTION NUMBER 1 (CONSTRUCTION OF A MINOR NATURE).



Kimley»Horn

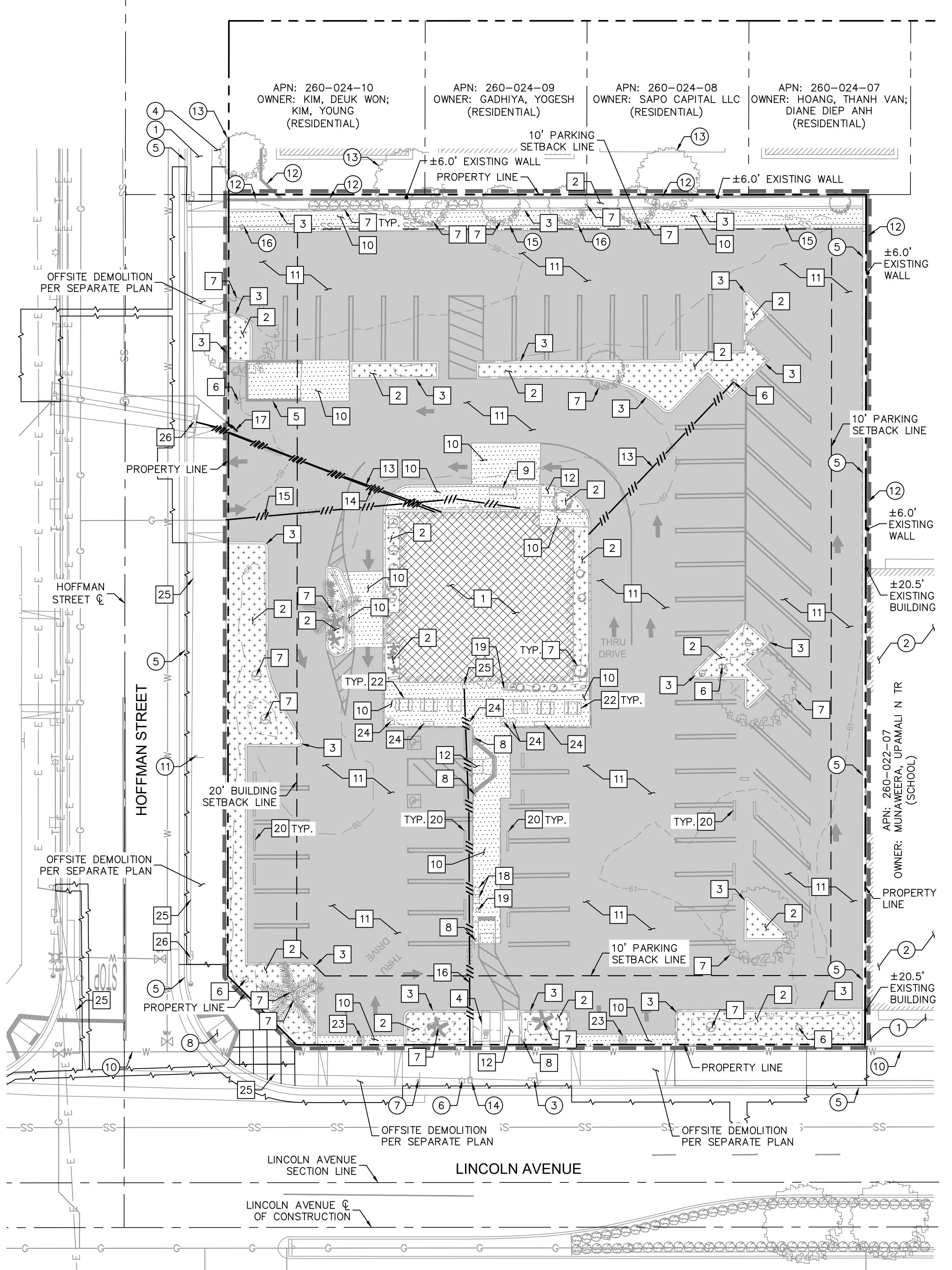
180 EAST OCEAN BLVD. SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran, R.C.E. NO. 87468
DATE: 10/23/2025
EXPI: 09/30/2027



Know what's below.
Call before you dig.

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 PRIVATE GENERAL NOTES				REFERENCES:
REVISIONS	CHECKED: AMELIA BELTRAN	RECOMMENDED:	APPROVED:	GP -
NO.	DATE	BY	DESCRIPTION	REV. NO.
BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET				SHEET 5 OF 18



LEGEND

—	CENTER LINE
—	PROPERTY LINE
—	RIGHT-OF-WAY LINE
—	EASEMENT LINE / SETBACK LINE
—	APPROXIMATE DEMOLITION LIMIT LINE ON-SITE
SD	EXISTING STORM DRAIN LINE
SS	EXISTING SEWER LINE
G	EXISTING GAS LINE
W	EXISTING WATER LINE
E	EXISTING ELECTRICAL LINE
T	EXISTING TELECOMMUNICATION LINE
—	EXISTING UTILITY LINE TO BE DEMOLISHED
—	SAWCUT LINE
—	EXISTING ASPHALT PAVEMENT TO BE REMOVED
—	EXISTING CONCRETE PAVEMENT TO BE REMOVED
—	EXISTING BUILDING AND BUILDING PAD TO BE REMOVED
—	EXISTING LANDSCAPE AREA TO BE REMOVED

DEMOLITION NOTES

- 1 REMOVE EXISTING BUILDING AND SURROUNDING FEATURES, ALL UTILITIES TO BE CAPPED FOR FUTURE CONNECTION. FOUNDATION REMOVALS PER GEOTECHNICAL REPORT.
- 2 REMOVE EXISTING LANDSCAPE AND ALL IRRIGATION LINES, DRIPS, VALVES AND ASSOCIATED EQUIPMENT AS REQUIRED. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION ON LIMITS OF LANDSCAPE REMOVAL. CONTRACTOR TO FIELD CONFIRM IRRIGATION ROUTING AND COORDINATE SHUTDOWNS/REROUTES/RELOCATIONS WITH ADJACENT TENANTS PRIOR TO CONSTRUCTION.
- 3 REMOVE EXISTING CURB / CURB & GUTTER.
- 4 REMOVE EXISTING PYLON SIGN INCLUDING POST AND FOUNDATION.
- 5 REMOVE EXISTING TRASH ENCLOSURE AND SURROUNDING FEATURES. UTILITIES TO BE CAPPED FOR FUTURE CONNECTION.
- 6 REMOVE EXISTING LIGHT POLE WITH CONCRETE BASE. CONTRACTOR TO FIELD CONFIRM CONDUIT ROUTING AND COORDINATE SHUTDOWNS/REROUTES/RELOCATIONS WITH ADJACENT TENANTS PRIOR TO CONSTRUCTION.
- 7 REMOVE EXISTING TREE AND SHRUB.
- 8 REMOVE EXISTING SIGN, INCLUDING POST AND FOUNDATION.
- 9 REMOVE EXISTING MENU BOARD, INCLUDING POST AND FOUNDATION.
- 10 REMOVE EXISTING CONCRETE PAVEMENT.
- 11 REMOVE EXISTING ASPHALT PAVEMENT.
- 12 REMOVE EXISTING CURB RAMP WITH TRUNCATED DOMES.
- 13 REMOVE EXISTING ELECTRICAL LINE.
- 14 REMOVE EXISTING COMMUNICATION LINE.
- 15 REMOVE EXISTING GAS LINE.
- 16 REMOVE EXISTING WATER LINE.
- 17 REMOVE EXISTING CLEANOUT.
- 18 REMOVE EXISTING NEWS STAND.
- 19 REMOVE EXISTING TRASH CAN.
- 20 REMOVE EXISTING WHEELSTOP.
- 21 REMOVE EXISTING FENCE.
- 22 REMOVE EXISTING TABLE AND BENCH.
- 23 REMOVE EXISTING CATCH BASIN.
- 24 REMOVE EXISTING PLANTER.
- 25 REMOVE EXISTING OVERHEAD TELECOMMUNICATION LINES TO BE UNDERGROUND PER SEPARATE PLAN AND PERMIT.
- 26 REMOVE EXISTING POWER POLE AND ASSOCIATED LINES. POWER POLE AND LINES TO BE UNDERGROUND PER SEPARATE PLAN AND PERMIT.

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP OR PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
3. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
6. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
7. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
8. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
9. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
10. DEMOLITION IS LIMITED TO WITHIN THE DEMOLITION LIMIT LINE UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
12. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
13. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
14. SEE SHEET 8 FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
15. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
16. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
18. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
19. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC. LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THIS PLAN FOR THE LIMITS OF ASPHALT REMOVAL. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
20. THE CONTRACTOR SHALL REFER TO THIS PLAN AND LANDSCAPE PLAN FOR DEMOLITION/ PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
21. CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/ COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.
22. REFER TO DEMOLITION NOTES ON SHEET 5.

UTILITY PURVEYORS

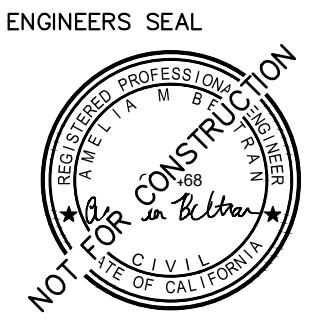
WATER	SEWER
CITY OF BUENA PARK WATER DIVISION (714) 562-3721	CITY OF BUENA PARK SEWER SERVICES DIVISION (714) 562-3655
STORM	ELECTRIC
CITY OF BUENA PARK PUBLIC WORKS (714) 562-3670	SOCAL EDISON (800) 655-4555
PHONE	CABLE
AT&T ERNEST ESTACIO (714) 618-9128	CHARTER AUGUSTIN SANCHEZ (714) 448-5118

PROTECTION NOTES

- 1 PROTECT-IN-PLACE EXISTING LANDSCAPE AND ASSOCIATED IRRIGATION.
- 2 PROTECT-IN-PLACE EXISTING BUILDING AND FOUNDATION.
- 3 PROTECT-IN-PLACE EXISTING POWER POLE.
- 4 PROTECT-IN-PLACE EXISTING SIDEWALK.
- 5 PROTECT-IN-PLACE EXISTING CURB / CURB AND GUTTER.
- 6 PROTECT-IN-PLACE EXISTING STREET LIGHT POLE.
- 7 PROTECT-IN-PLACE EXISTING OCTA BUS STOP SIGN.
- 8 PROTECT-IN-PLACE EXISTING CURB RAMP.
- 9 PROTECT-IN-PLACE EXISTING TELECOMMUNICATION LINE.
- 10 PROTECT-IN-PLACE EXISTING WATER LINE.
- 11 PROTECT-IN-PLACE EXISTING SPEED LIMIT AND NO PARKING SIGN.
- 12 PROTECT-IN-PLACE EXISTING WALL.
- 13 PROTECT-IN-PLACE EXISTING TREE/PLANT.
- 14 PROTECT-IN-PLACE EXISTING WATER METER.
- 15 PROTECT-IN-PLACE EXISTING SANITARY SEWER LINE.
- 16 PROTECT-IN-PLACE SANITARY SEWER CLEANOUT. ADJUST TOP OF CLEANOUT TO GRADE.



GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE (24" X 36")



Kimley-Horn

180 EAST OCEAN BLVD. SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran, R.C.E. NO. 87468
DATE: 10/23/2025
EXPIRED: 09/30/2027401 B STREET, SUITE 600
SAN DIEGO, CA 92101
(619) 705-3864

RANDALL KOPFF, P.L.A. NO. 6633

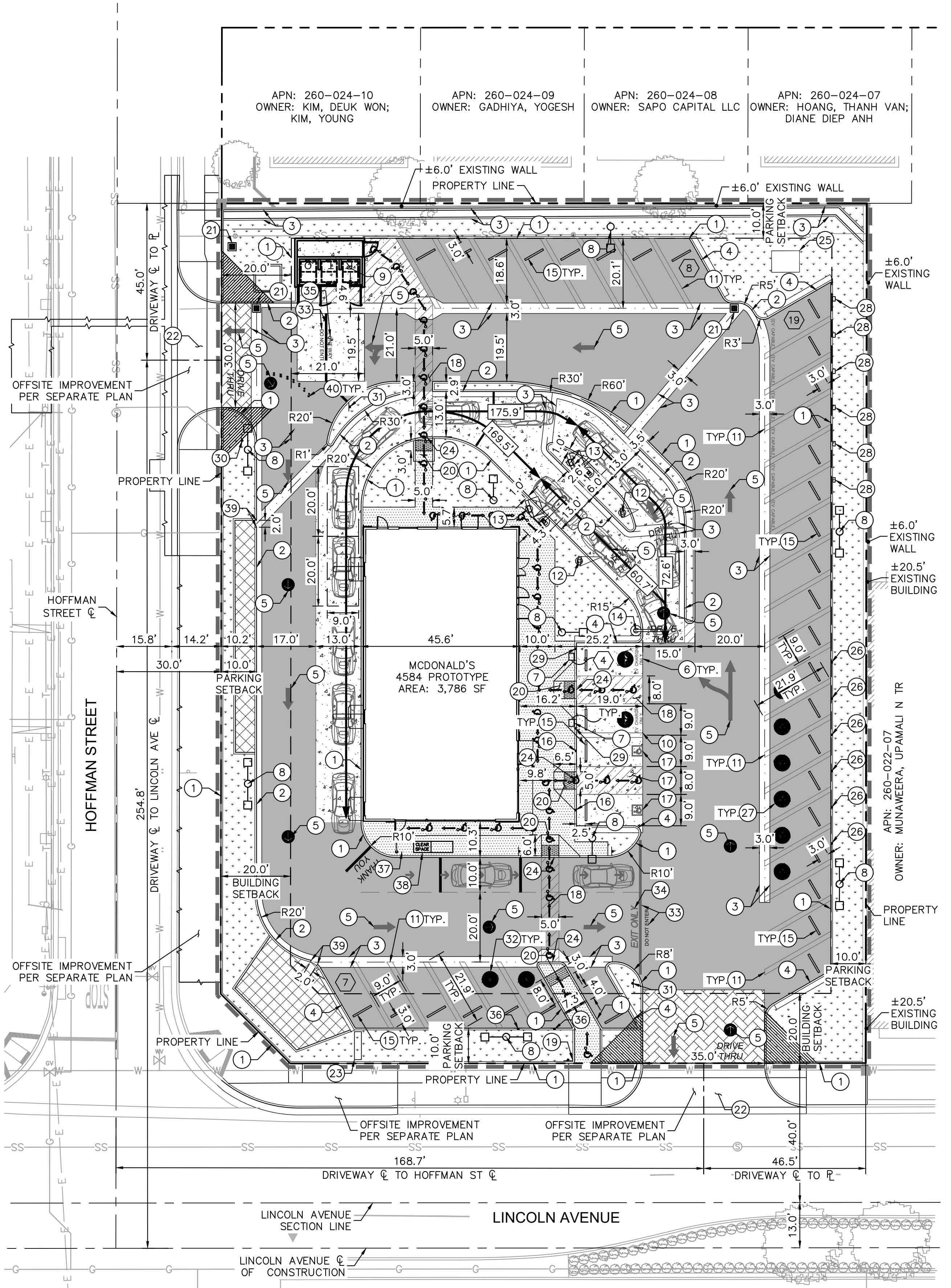
GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
DEMOLITION PLAN

REFERENCES:

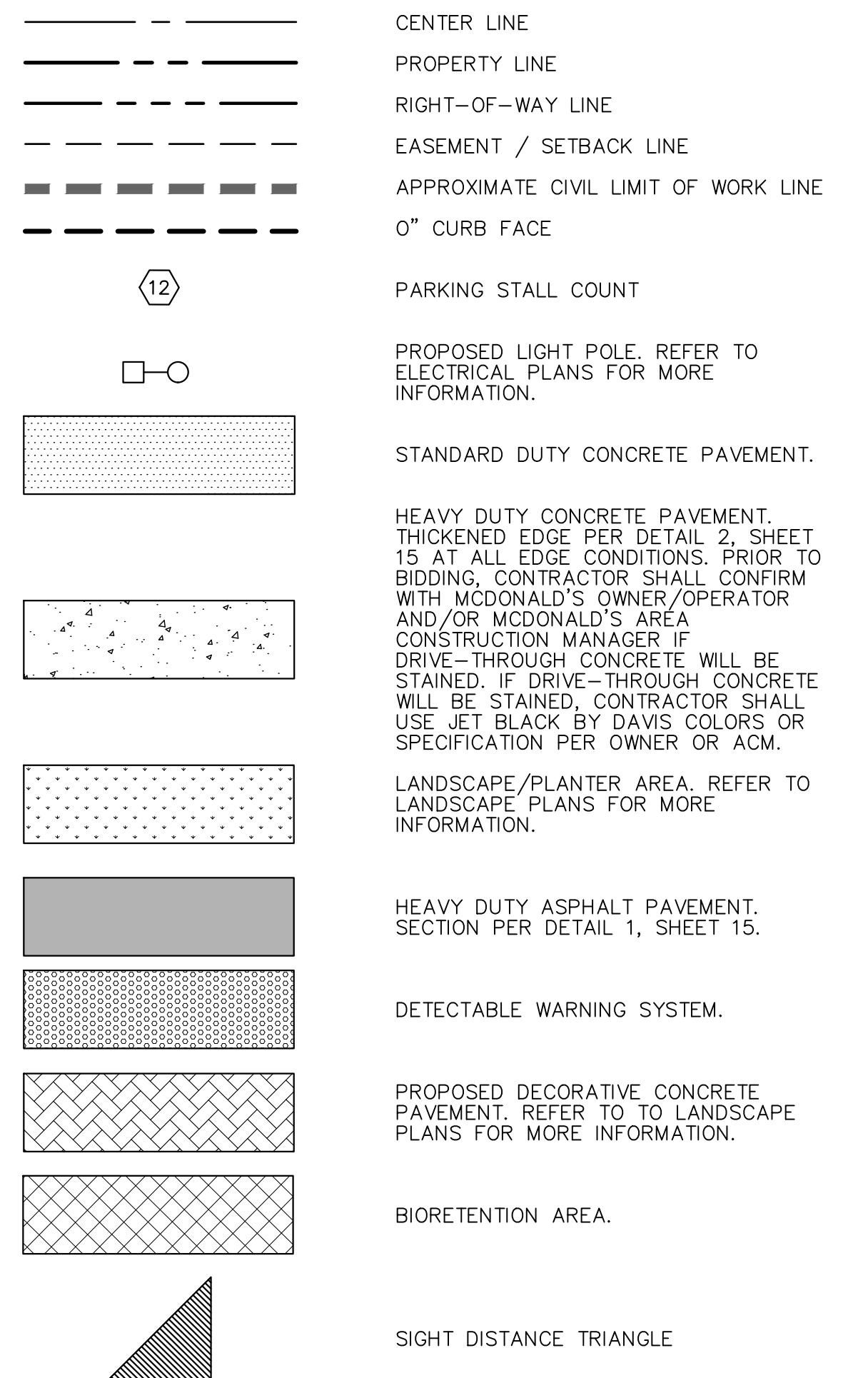
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
					APPROVED: BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

GP-
REV. NO.

SHEET 10 OF 18



LEGEND



PAVING AND JOINTING NOTES

1. EXPANSION/SOLATION JOINTS SHALL BE PLACED BETWEEN BUILDING AND CURBS. SEE DETAIL 4, SHEET 16.
2. CONTROL JOINT SPACING SHALL BE PER GEOTECHNICAL REPORT.
3. EXPANSION/SOLATION JOINTS SHALL BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT (LIGHT POLES, RETAINING WALLS, EXISTING CONCRETE PAVEMENT, BUILDING WALLS, MANHOLES, ETC) AND SEALED WITH POLYURETHANE SEALANT. SEE DETAIL 4, SHEET 16.
4. SAW-CUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.
5. CONSTRUCTION JOINTS SHALL BE PER DETAIL 3, SHEET 17.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT PERMANENT PAVEMENT IS NOT PLACED UNTIL ALL REQUIRED CONDUITS AND SLEEVING FOR IRRIGATION, UTILITIES, LIGHTING, ETC. HAVE BEEN PROPERLY INSTALLED.
7. DRIVE-THROUGH CONCRETE PAVEMENT REINFORCEMENT, IF REQUIRED, SHALL BE PER GEOTECHNICAL REPORT.

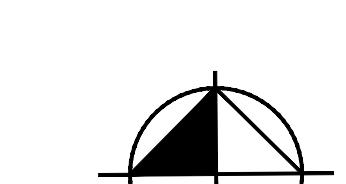
CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE CURB PER DETAIL 3, SHEET 15.
2. CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL 5, SHEET 15.
3. CONSTRUCT 3.0' WIDE VALLEY GUTTER PER DETAIL 12, SHEET 15.
4. CONSTRUCT 18" WALK-OFF CURB PER DETAIL 7, SHEET 15.
5. INSTALL DIRECTIONAL MARKING PER PLAN. REFER TO DETAIL 9, SHEET 15 FOR MORE DETAILS.
6. INSTALL EV CHARGING STALL STRIPING AND "EV CHARGING ONLY" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL.
7. INSTALL E/V CHARGING STATION. REFER TO ELECTRICAL PLANS FOR MORE DETAILS.
8. INSTALL SITE LIGHTING. REFER TO ELECTRICAL PLAN FOR MORE DETAILS.
9. INSTALL COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS. TRASH ENCLOSURE APPROACH TO BE HEAVY DUTY CONCRETE PAVEMENT PER DETAIL 1, SHEET 15. CONCRETE REINFORCEMENT AND JOIN ASPHALT CONCRETE PER DETAIL 13, SHEET 15.
10. STANDARD 90' PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8" SEPARATION. REFER TO DETAIL 6, SHEET 15 FOR MORE DETAILS.
11. STANDARD 60' PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8" SEPARATION. REFER TO DETAIL 7, SHEET 16 FOR MORE DETAILS.
12. INSTALL PREVIEW BOARD. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
13. INSTALL ORDER BOARD. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
14. INSTALL HEIGHT DETECTOR POLE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
15. WHEELSTOP FOR PARKING SPACES ADJACENT TO WALKWAYS PER DETAIL 8, SHEET 15.
16. INSTALL ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET 15.
17. INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 5, SHEET 17.
18. INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 14, SHEET 15.
19. INSTALL ACCESSIBLE PATH OF TRAVEL SIGN PER DETAIL 7, SHEET 17.
20. INSTALL ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES) PER DETAIL 1, SHEET 17 AND DETAIL 8, SHEET 16.
21. INSTALL 24" X 24" JENSEN PRECAST DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE PER DETAIL 8, SHEET 17.
22. CONSTRUCT DRIVEWAY PER CITY OF BUENA PARK STANDARD PLAN NO. 213.
23. INSTALL MCDONALD'S SITE SIGNAGE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
24. CONSTRUCT 0" CONCRETE CURB PER DETAIL 4, SHEET 15.
25. PROPOSED TRANSFORMER PER SEPARATE PLAN AND PERMIT.
26. MOBILE PICK-UP PARKING STALL SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
27. MOBILE PICK-UP PARKING STALL STRIPING. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
28. FUTURE INSTALLATION OF EV CHARGING STATION.
29. "EV CHARGING ONLY" STALL SIGN. SIGN BASE PER DETAIL 6, SHEET 16.
30. "RIGHT TURN ONLY" SIGN PER MUTCD R3-2. SIGN BASE PER DETAIL 6, SHEET 16.
31. "DO NOT ENTER" SIGN PER MUTCD R5-1. SIGN BASE PER DETAIL 6, SHEET 16.
32. MCDelivery PARKING STALL STRIPING. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
33. "DO NOT ENTER" PAVEMENT MARKING WITH BAR STRIPING PER DETAIL 9, SHEET 15.
34. "EXIT ONLY" PAVEMENT MARKING PER DETAIL 9, SHEET 15.
35. "ONE-WAY" PAVEMENT MARKING PER DETAIL 9, SHEET 15.
36. MCDelivery PARKING STALL SIGN. SIGN BASE PER DETAIL 6, SHEET 16.
37. INSTALL SHORT TERM BIKE RACK PER DETAIL 8, SHEET 16.
38. INSTALL LONG TERM BIKE LOCKER PER DETAIL 5, SHEET 16.
39. INSTALL 2' CURB CUT.
40. INSTALL WHITE 4" ROUND RAISED PAVEMENT MARKER PER MUTCD 3B.11 AND 3B.14

SITE INFORMATION

PROJECT DESCRIPTION:	DEMOLITION OF EXISTING PARKING LOT AND BUILDING, NEW CONSTRUCTION OF A MCDONALD'S DRIVE THRU RESTAURANT AND PARKING LOT.		
ADDRESS:	6201 LINCOLN AVENUE, BUENA PARK, CA 90602		
APN:	260-022-05, 260-022-06		
ZONING DISTRICT:	CS-COMMUNITY SHOPPING (EXISTING)		
ADJACENT ZONING DISTRICTS:	N: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL) S: N/A (CITY OF CYPRESS) E: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL) W: CS - (COMMUNITY SHOPPING)		
LAND USE:	COMMERCIAL		
ADJACENT LAND USE:	N: RESIDENTIAL S: N/A (CITY OF CYPRESS) E: RESIDENTIAL W: COMMUNITY SHOPPING		
GENERAL PLAN DISTRICT:	GC - GENERAL COMMERCIAL		
FLOOD ZONE:	ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.		
TOTAL DISTURBED AREA:	52,053 S.F.	(1.20 AC)	
TOTAL PAD AREA:	3,786 S.F.	(0.09 AC)	
TOTAL LOT AREA:	45,478 S.F.	(1.04 AC)	
LOT COVERAGE:			
TOTAL SITE AREA:	45,478 S.F.	(1.04 AC)	100%
BUILDING AREA:	3,786 S.F.	(0.09 AC)	8.3%
IMPERVIOUS AREA:	33,207 S.F.	(0.76 AC)	73.0%
LANDSCAPE AREA:	8,485 S.F.	(0.19 AC)	18.7%
BUILDING SETBACK:			
FRONT (N):	20.0'		
FRONT (S):	20.0'		
SIDE (E):	10.0'		
SIDE (W):	10.0'		
PARKING SUMMARY:	3,786 S.F. (1 STALL/100 S.F.) = 38 STALLS REQUIRED PER CITY CODE		
• 3,786 S.F. (BUILDING) = 3,786 S.F. TOTAL	STALLS = 2 ADA PARKING STALLS REQUIRED PER 2022 CALGREEN		
• FUTURE EV PER 2025 PARKING STALLS = 6 FUTURE EV STALLS AND 2 EVCS	STALLS REQUIRED PER 2022 CALGREEN		
• 1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.			
TOTAL NUMBER OF PARKING SPACES PROVIDED = 38			
PARKING TABLE:			
REQUIRED	27	27	
STANDARD	-	-	
COMPACT (C)	-	-	
MOTORCYCLE	-	-	
EV CHARGING	2	2 (INCLUDES 1 VAN ACCESSIBLE)	
EV READY	2	2 (INCLUDES 1 VAN ACCESSIBLE)	
ACCESSIBLE			
TOTAL:	38	38	

*80 FEET FROM PICK-UP WINDOW TO THE ORDER POINT, AND 80 FEET FROM THE ORDER POINT TO THE END OF THE DRIVE-THROUGH LANE HAS BEEN PROVIDED PER THE CITY'S CODE REQUIREMENTS.



GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE (24" X 36")



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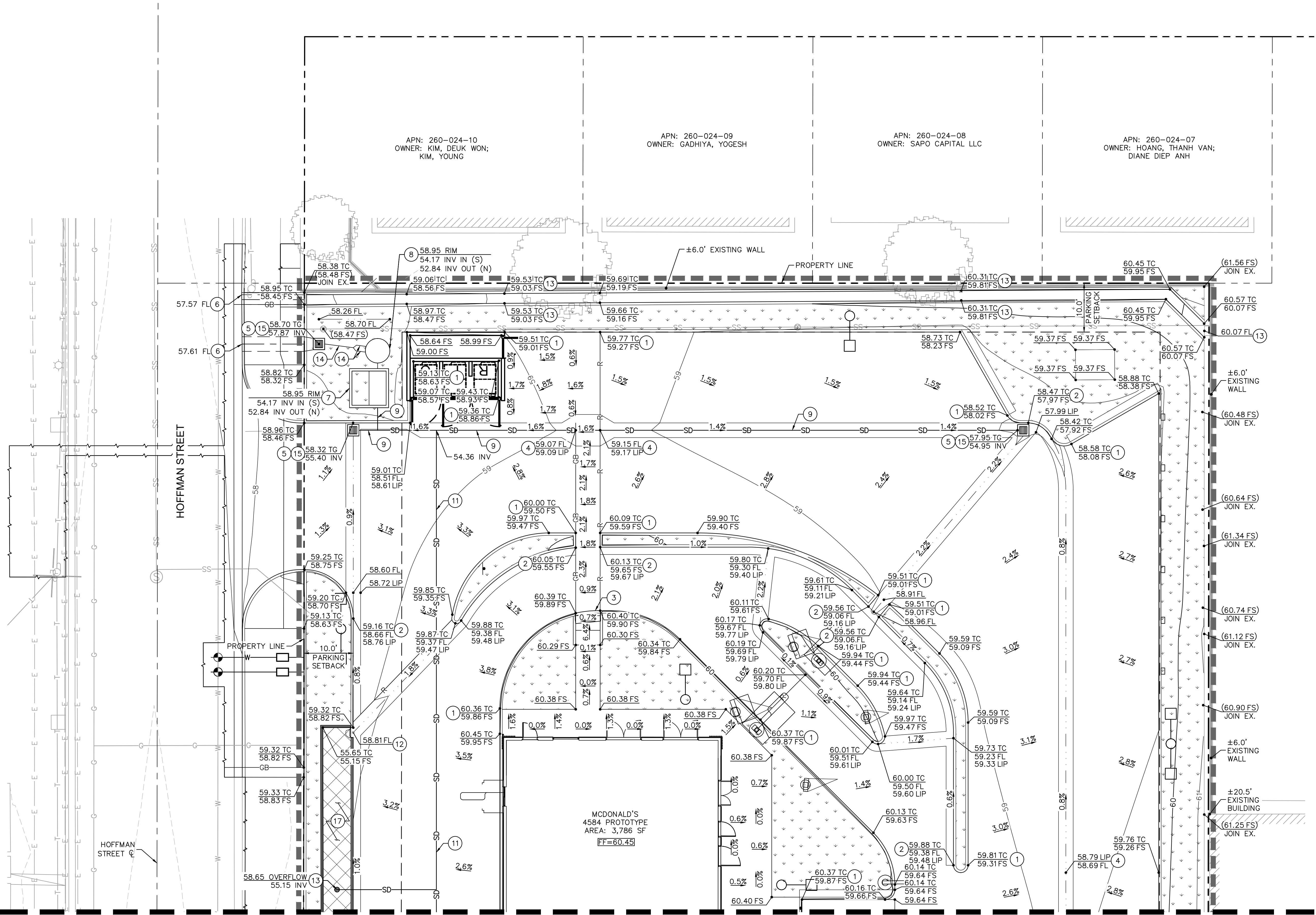
180 EAST OCEAN BLVD. SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran, R.C.E. NO. 87468
DATE: 10/23/2025
EXPIRED: 09/30/2027



Know what's below.
Call before you dig.

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 SITE KEYNOTE PLAN			
REVISIONS	CHECKED: AMELIA BELTRAN	RECOMMENDED:	
NO.	DATE	BY	APPL:
			APPROVED:
			BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET
GP-	REV. NO.		
SHEET	OF 18		

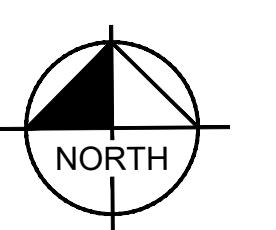


LEGEND

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE / SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- PROPOSED RIDGE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- PROPOSED STORM DRAIN LINE
- EXISTING FLOW DIRECTION
- LANDSCAPE AREA
- BIOPRETENTION AREA

GRADING AND DRAINAGE NOTES

- 1 PROPOSED 6" CURB PER DETAIL 3, SHEET 15.
- 2 PROPOSED 6" CURB AND GUTTER PER DETAIL 5, SHEET 15.
- 3 PROPOSED 0" CURB PER DETAIL 4, SHEET 15.
- 4 PROPOSED 3.0' WIDE CONCRETE VALLEY GUTTER PER DETAIL 12, SHEET 15.
- 5 24" X 24" DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE PER DETAIL 8, SHEET 17.
- 6 PROPOSED 3.0' WIDE PARKWAY DRAIN THROUGH CURB FACE PER CITY OF BUENA PARK STANDARD 215.
- 7 PROPOSED MODULAR WETLAND SYSTEM PER DETAIL 1, SHEET 18.
- 8 PROPOSED SUMP PUMP PER DETAIL 3, SHEET 18.
- 9 PROPOSED 12" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- 10 PROPOSED 4" CURB PER DETAIL 3, SHEET 15.
- 11 PROPOSED 8" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- 12 PROPOSED 2' CURB CUT.
- 13 PROPOSED CONCRETE CHANNEL PER DETAIL 2, SHEET 18.
- 14 PROPOSED 3" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- 15 INSTALL "NO DUMPING DRAINS TO OCEAN" STENCIL ON CURB ADJACENT TO CATCH BASIN PER DETAIL 2, SHEET 16.
- 16 PROPOSED BIOPRETENTION A PER DETAIL 3 AND 4, SHEET 17.
- 17 PROPOSED BIOPRETENTION B PER DETAIL 3 AND 4, SHEET 17.



GRAPHIC SCALE IN FEET
 0 5 10 20
 1" = 10'
 WHEN PRINTED AT FULL SIZE (24" X 36")



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 (562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
 Amelia Beltran
 DATE: 10/23/2025
 AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027



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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
 GRADING AND DRAINAGE PLAN

REFERENCES:

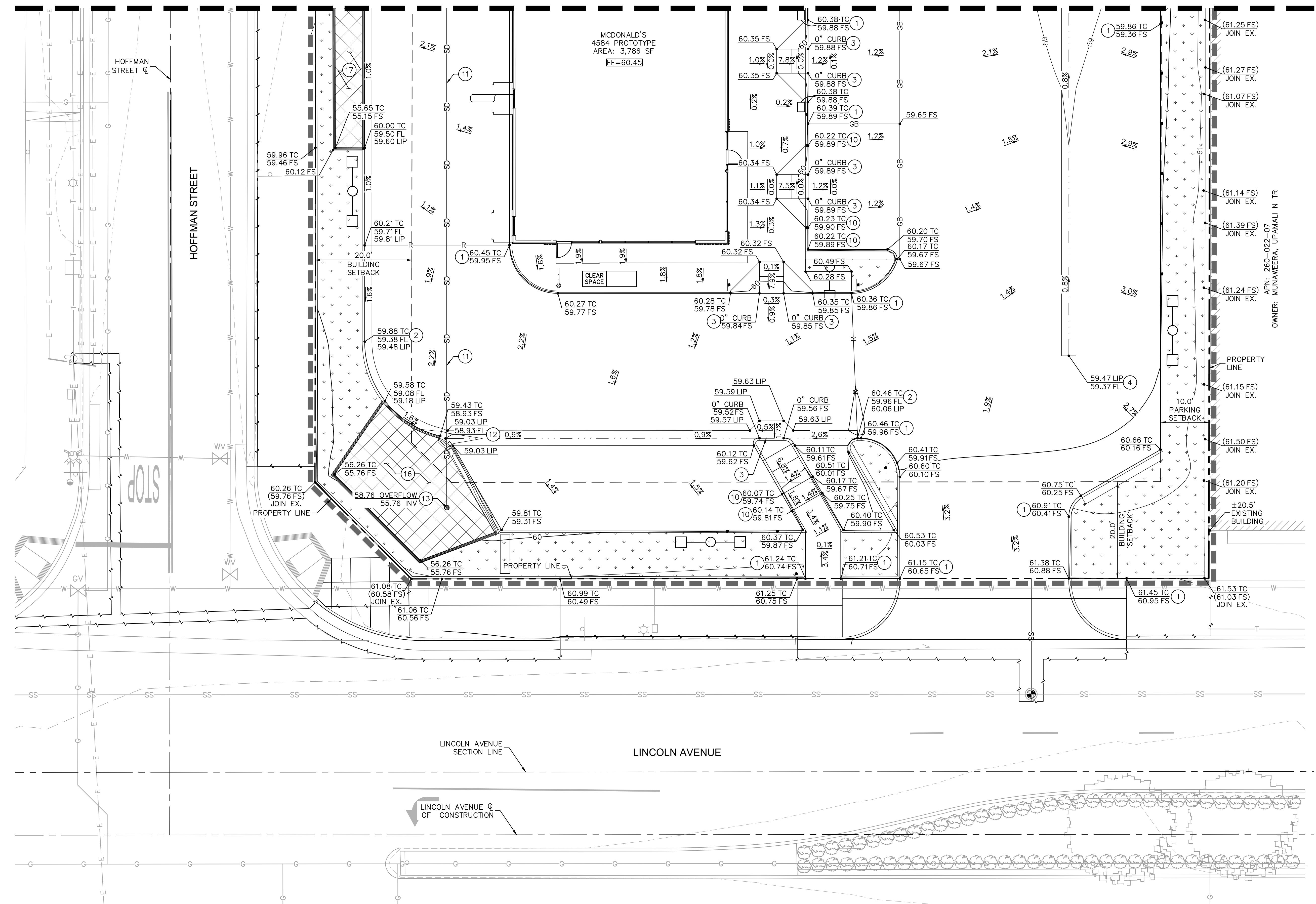
REVISIONS				CHECKED: AMELIA BELTRAN
NO.	DATE	BY	DESCRIPTION	APP.
				RECOMMENDED:
				APPROVED:

GP-
 REV.
 NO.

SHEET 12 OF 18

SEE SHEET 11

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plotsheets\c6.0 - GRADING AND DRAINAGE PLAN.dwg
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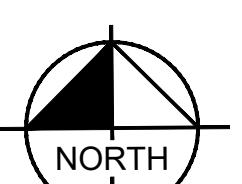


LEGEND

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GRADING AND DRAINAGE NOTES

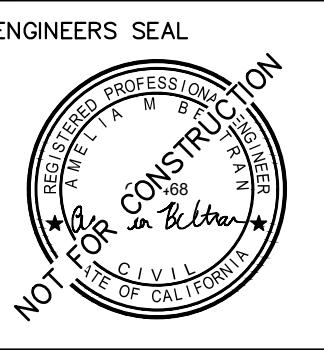
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GRAPHIC SCALE IN FEET
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1" = 10'
WHEN PRINTED AT FULL SIZE (24" X 36")

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 GRADING AND DRAINAGE PLAN					REFERENCES:
REVISIONS		CHECKED: AMELIA BELTRAN			
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
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REV. NO.
SHEET 13 OF 18



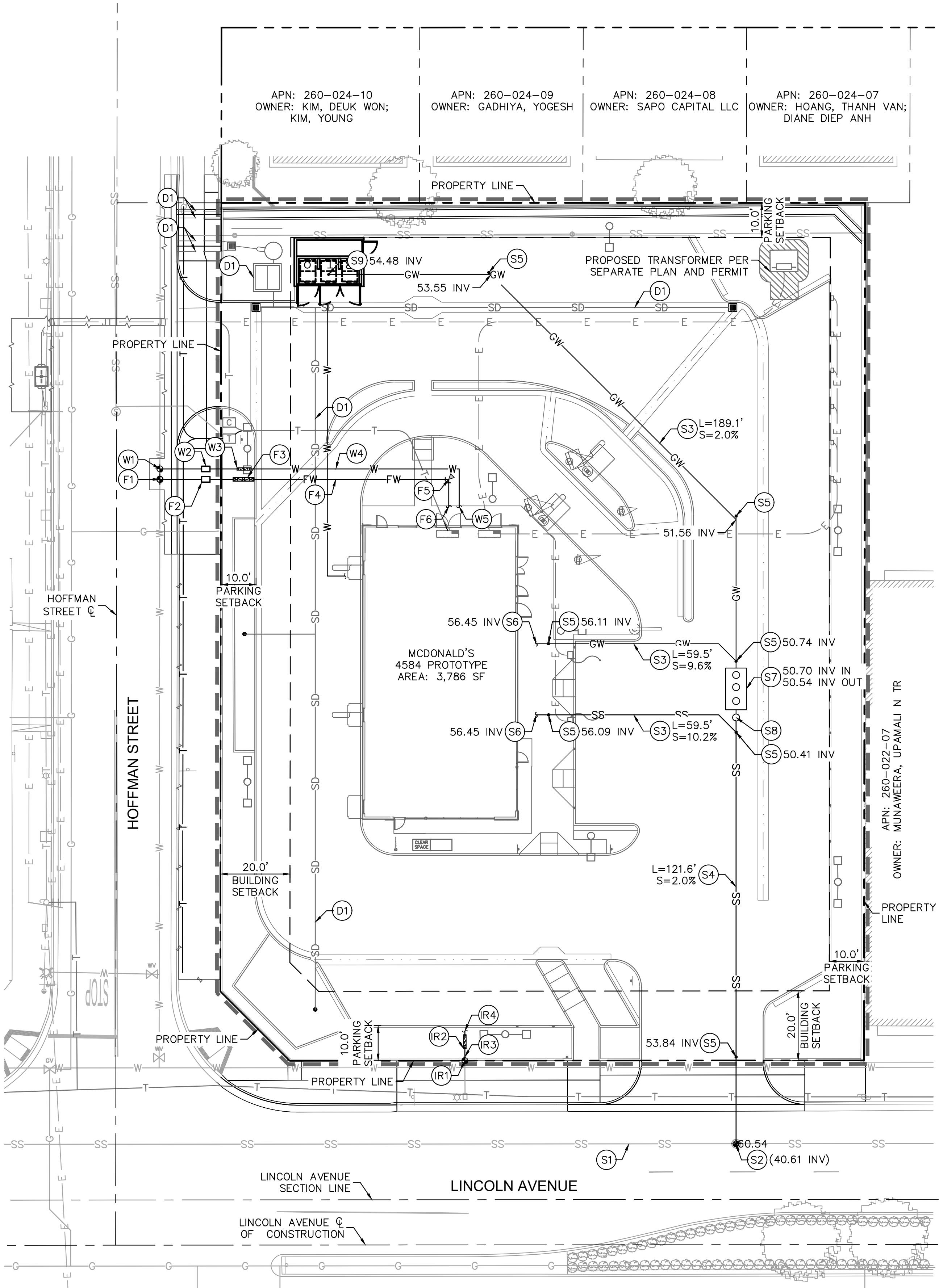
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AMELIA BELTRAN, R.C.E. NO. 87468
EXP. 09/30/2027



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- EXISTING SANITARY SEWER LINE
- EXISTING GAS LINE
- EXISTING UNDERGROUND ELECTRICAL LINE
- EXISTING UNDERGROUND TELECOMMUNICATIONS LINE
- EXISTING STORM DRAIN LINE
- PROPOSED WATER LINE
- PROPOSED FIRE WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE

DOMESTIC WATER CONSTRUCTION NOTES

- (W1) CONNECT TO EXISTING WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 524.
- (W2) INSTALL 2" DOMESTIC WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 517.
- (W3) INSTALL 2" AMES DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF BUENA PARK STD. DWG. NO. 537.
- (W4) INSTALL 2" PVC SCH. 80 DOMESTIC WATER LINE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (W5) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).

STORM DRAIN CONSTRUCTION NOTES

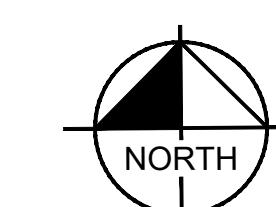
- (D1) REFER TO GRADING PLAN FOR MORE INFORMATION ON PROPOSED SITE STORM DRAIN IMPROVEMENTS.
- (F1) CONNECT TO EXISTING WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 524.
- (F2) INSTALL 4" FIRE WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 528.
- (F3) INSTALL 4" AMES DOUBLE DETECTOR CHECK ASSEMBLY PER CITY OF BUENA PARK STD. DWG. NO. 528A & 528B.
- (F4) INSTALL 4" PVC C-900 CLASS 150 FIRE WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 528A & 528B.
- (F5) INSTALL 4" PVC C-900 CLASS 150 BEND WITH THRUST BLOCK PER DETAIL 4, SHEET 16.
- (F6) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).

IRRIGATION WATER CONSTRUCTION NOTES

- (IR1) CONNECT TO EXISTING WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 517.
- (IR2) INSTALL 1" AMES DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF BUENA PARK STD. DWG. NO. 537.
- (IR3) INSTALL 1" PVC SCH. 80 DOMESTIC WATER LINE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (IR4) IRRIGATION POINT OF CONNECTION. REFER TO LANDSCAPE AND IRRIGATION PLANS FOR CONTINUATION.

SANITARY SEWER CONSTRUCTION NOTES

- (S1) EXISTING SEWER MAIN TO REMAIN. CONNECT TO EXISTING SEWER MANHOLE PER CITY OF BUENA PARK STD. DWG. NO. 507. CONTRACTOR TO POTHOLE AND VERIFY LOCATION AND INVERT OF EXISTING MAIN PRIOR TO TRENCHING AND SEWER INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION. CONTRACTOR TO SCOPE EXISTING LINE TO VERIFY CONDITION PRIOR TO TRENCHING AND SEWER INSTALLATION.
- (S2) INSTALL 4" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (S3) INSTALL 6" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (S4) INSTALL SEWER CLEANOUT PER CITY OF BUENA PARK STD. DWG. NO. 511.
- (S5) BUILDING POINT OF CONNECTION.
- (S6) INSTALL JENSEN PRECAST 1500 GAL GREASE INTERCEPTOR. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
- (S7) INSTALL JENSEN PRECAST SAMPLE BOX. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
- (S8) INSTALL 4" NDS AREA DRAIN IN TRASH ENCLOSURE PER DETAIL 6, SHEET 17.



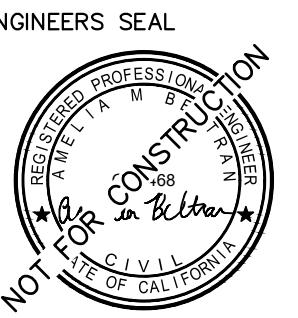
GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE (24" X 36")

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 UTILITY PLAN

REVISIONS				CHECKED: AMELIA BELTRAN	RECOMMENDED:
NO.	DATE	BY	DESCRIPTION	APP.	
					APPROVED:
BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET					

GP-
REV.
NO.

SHEET 14 OF 18

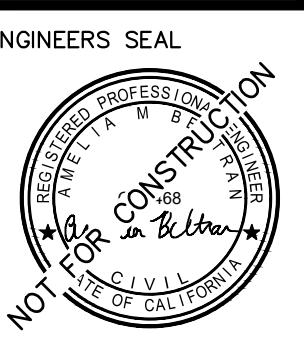
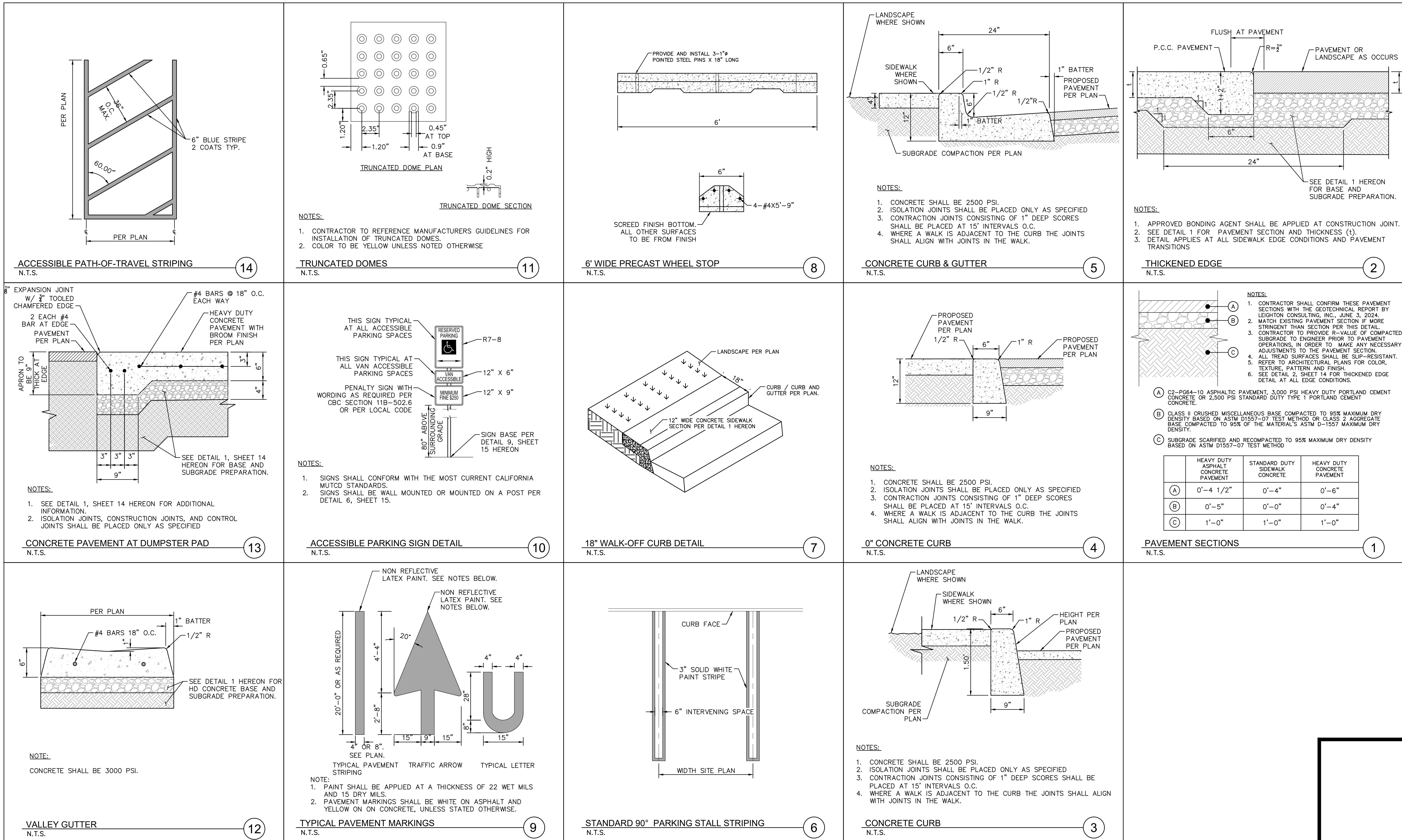


Kimley»Horn

180 EAST OCEAN BLVD. SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran DATE: 10/23/2025
AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027





Kimley » Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

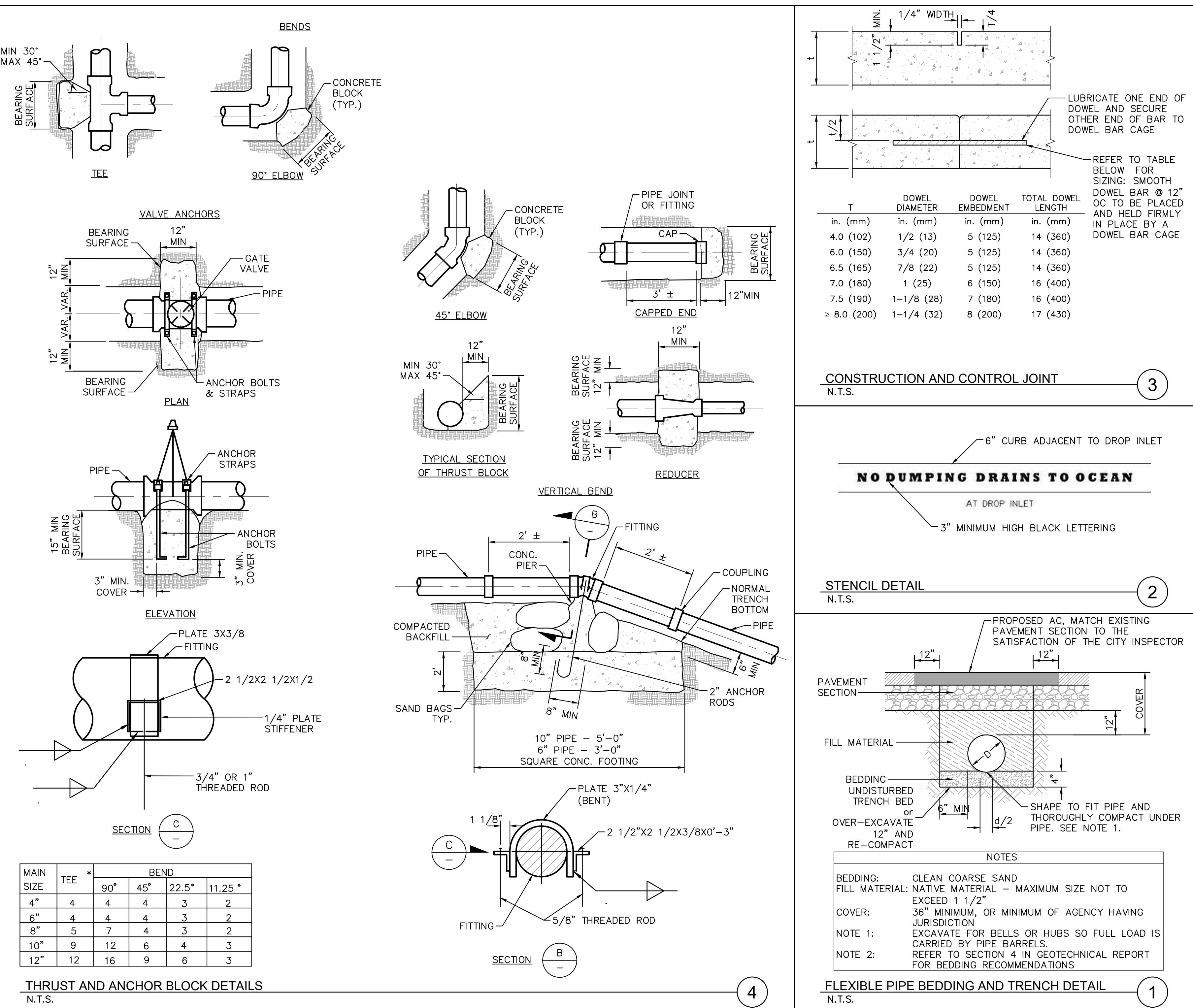
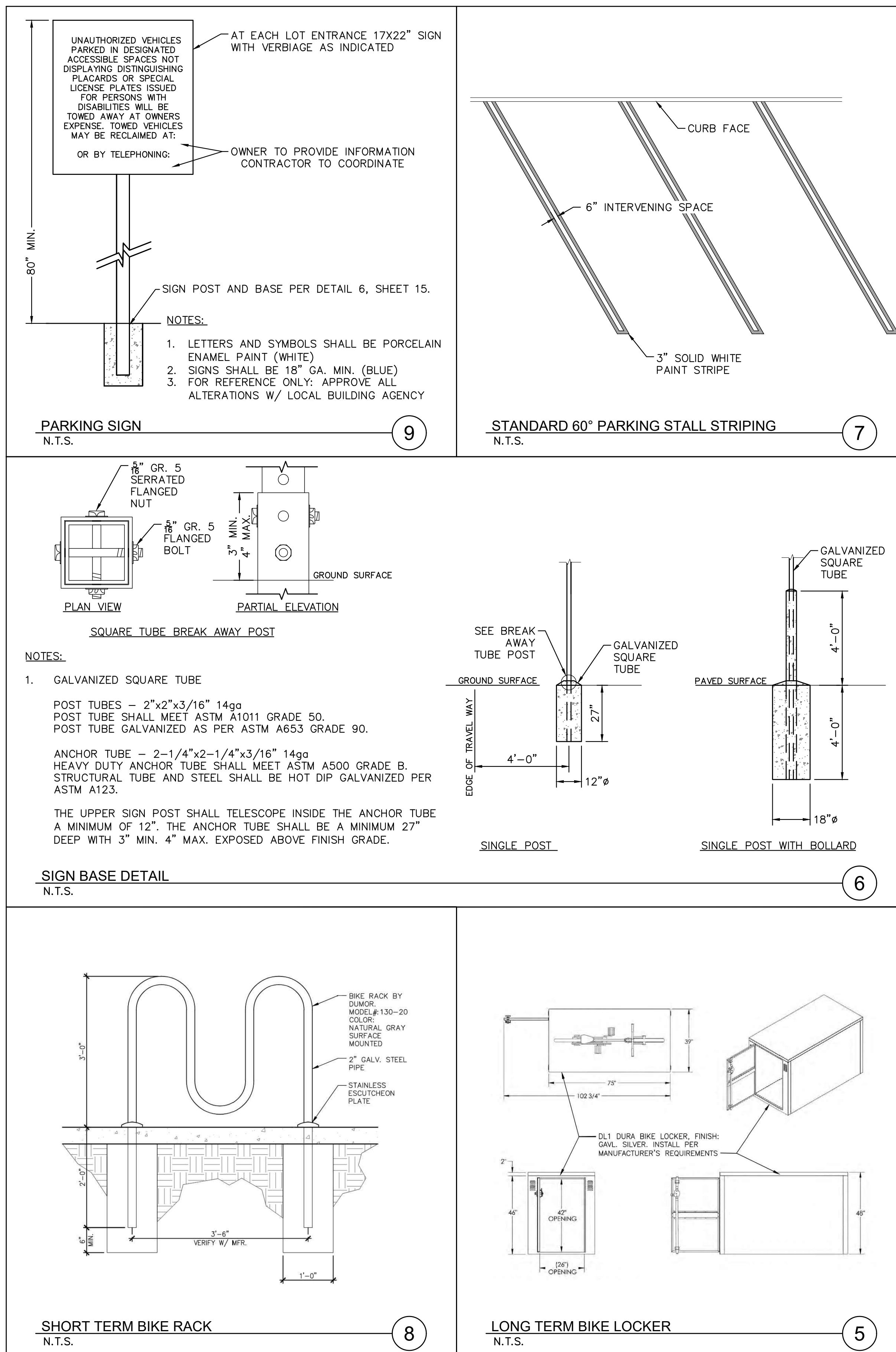
PREPARED UNDER THE DIRECT

PREPARED UNDER THE DIRECTION OF
Amelia Beltran

AMELIA BELTRAN, R.C.E. NO. 874

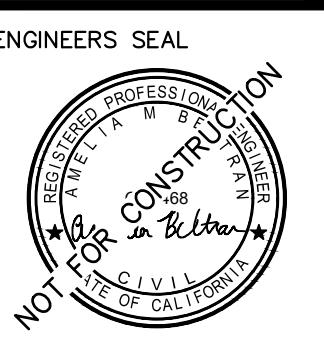
Know what's below
Call before you dig

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 CONSTRUCTION DETAILS					REFERENCES:
REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP:	REV. NO.
				RECOMMENDED:	GP-
				APPROVED:	SHEET 15 OF 18
				BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET	



GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 CONSTRUCTION DETAILS					REFERENCES:
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