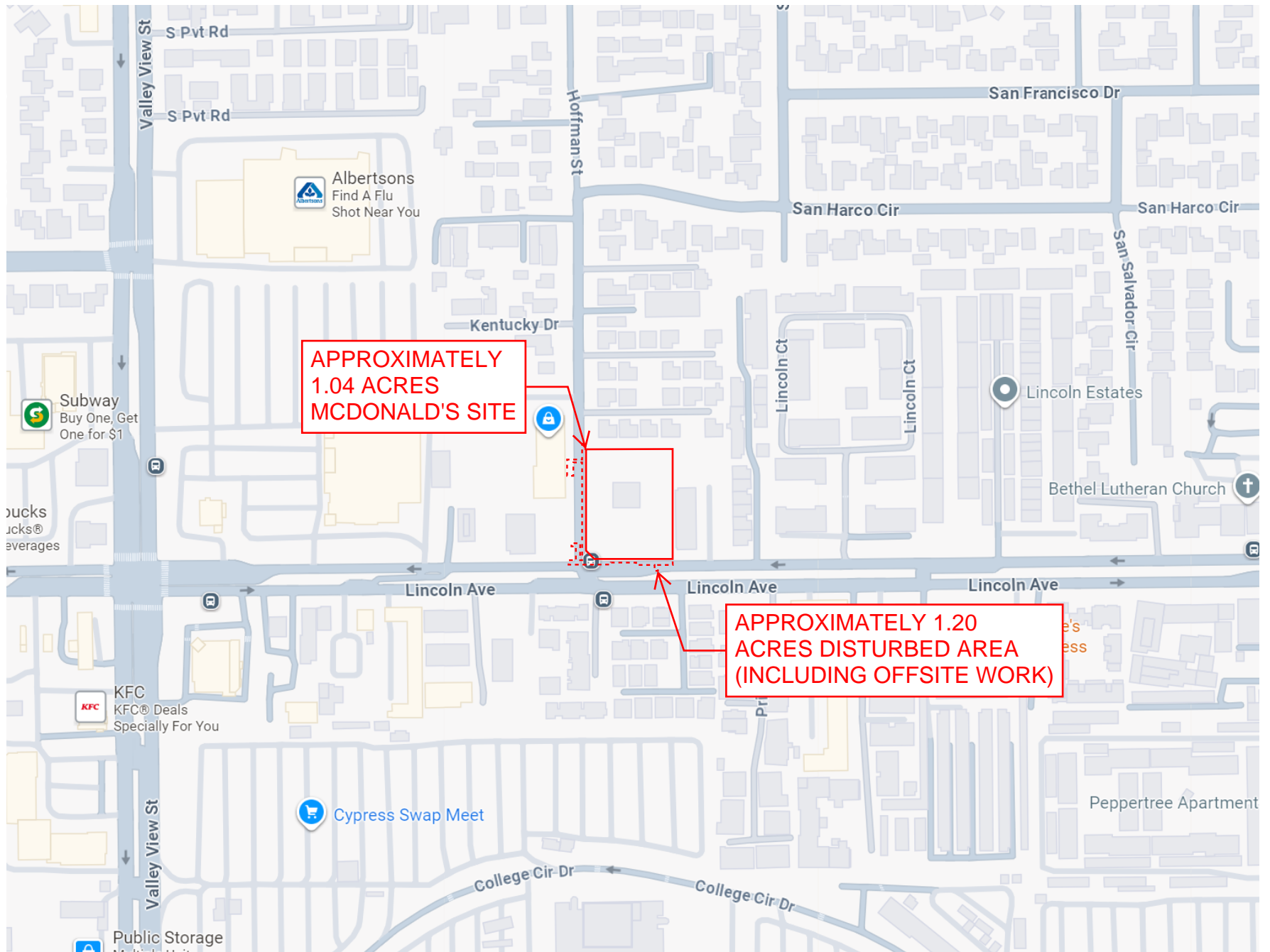


VICINITY MAP



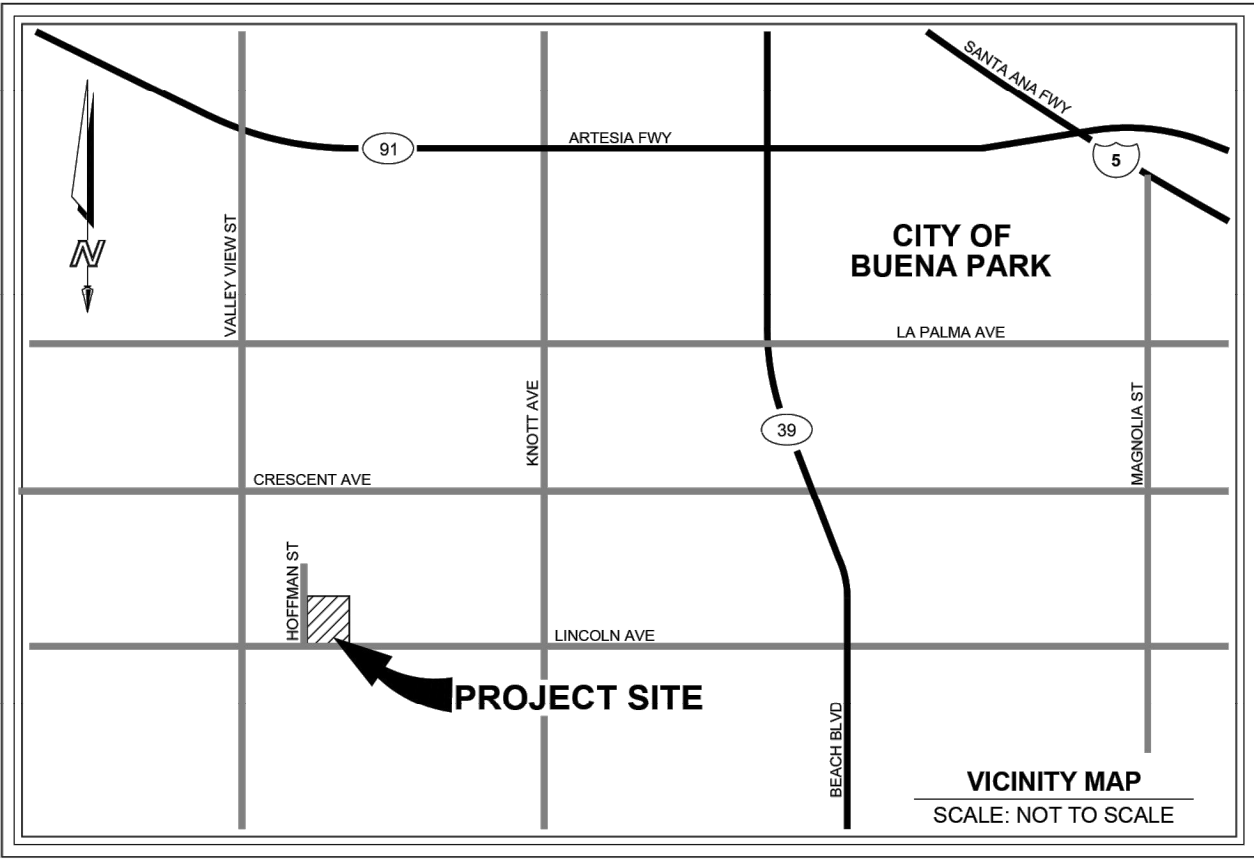
LOCATION MAP



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Drawing name: K:\ORA_LDEV\mcdonalds\194015056 — buena park (4-5199)\CADD\plansheets\C1.0 — CIVIL COVER SHEET.dwg 2 — EXISTING CONDITIONS Oct 23, 2025 12:27pm by: Jenny/Sheng

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LEGAL DESCRIPTION TITLE COMMITMENT ORDER NO: CA2308809C
SUBJECT PARCEL: APN: 260-022-05, 260-022-06
PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM A ONE-HALF INTEREST IN AND TO ALL OIL AND MINERAL RIGHTS IN SAID LAND, AS RESERVED IN THE DEED RECORDED MAY 14, 1943 IN BOOK 1192, PAGE 12, OF OFFICIAL RECORDS.

SCHEDULE B - SECTION II EXCEPTIONS

NOTE: THE INFORMATION SHOWN HEREON IS PER TITLE COMMITMENT ORDER NO: CA2308809C DATED NOVEMBER 27, 2023 BY CHICAGO TITLE INSURANCE COMPANY. NO RESPONSIBILITY OF COMPLETENESS OR ACCURACY OF SAID TITLE COMMITMENT IS ASSUMED BY THIS MAP OR THE SURVEYOR.
CIRCLED INDEX NUMBERS SHOWN BELOW INDICATE SCHEDULE B ITEMS WHICH BOTH AFFECT THE PROPERTY, AND HAVE SUFFICIENT MATHEMATICAL DATA TO BE SHOWN GRAPHICALLY. THESE ITEMS ARE SHOWN ON SHEETS 2 & 3. ITEMS SHOWN WITHOUT CIRCLES ARE DEEMED TO BE NOT PLOTTABLE DUE TO THE LACK OF SUFFICIENT MATHEMATICAL DATA, OR THEY DO NOT DIRECTLY AFFECT THE SUBJECT PROPERTY.

- A. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
ASSESSOR PARCEL NO.: 260-022-05
FISCAL YEAR: 2023-2024
1ST INSTALLMENT: \$7,612.75 PAID
2ND INSTALLMENT: \$7,612.75, OPEN
PENALTY AND COST: \$24.17 (DELINQUENT AFTER APRIL 10)
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 14-066 (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
- B. PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS:
ASSESSOR PARCEL NO.: 260-022-06
FISCAL YEAR: 2023-2024
1ST INSTALLMENT: \$11.71 PAID
2ND INSTALLMENT: \$11.71, OPEN
PENALTY AND COST: \$24.17 (DELINQUENT AFTER APRIL 10)
HOMEOWNERS EXEMPTION: \$0.00
CODE AREA: 14-066 (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
- C. THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESSEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY. (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
2. THE LAND DESCRIBED HEREIN IS INCLUDED WITHIN A PROJECT AREA OF THE REDEVELOPMENT AGENCY SHOWN BELOW, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT.
REDEVELOPMENT AGENCY: CENTRAL BUSINESS DISTRICT REDEVELOPMENT PROJECT AREA
RECORDING DATE: APRIL 20, 2007
RECORDING NO: 200700025754, OFFICIAL RECORDS (AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER)
3. PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD. IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING. (AFFECTS SUBJECT PROPERTY, NOT A SURVEY MATTER)
4. ANY INVALIDITY OR DEFECT IN THE TITLE OF THE VESTESSEE IN THE EVENT THAT THE TRUST REFERRED TO HEREIN IS INVALID OR FAILS TO GRANT SUFFICIENT POWERS TO THE TRUSTEE(S) OR IN THE EVENT THERE IS A LACK OF COMPLIANCE WITH THE TERMS AND PROVISIONS OF THE TRUST INSTRUMENT.
IF TITLE IS TO BE INSURED IN THE TRUSTEE(S) OF A TRUST, (OR IF THEIR ACT IS TO BE INSURED), THIS COMPANY WILL REQUIRE A TRUST CERTIFICATION PURSUANT TO CALIFORNIA PROBATE CODE SECTION 18100.5.
THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
5. ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS.
THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE.
THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
6. ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)
7. MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NSPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF. (AFFECTS SUBJECT PARCEL, NOT PLOTTABLE FROM AVAILABLE RECORDS)

SURVEY NOTES

1. THIS SURVEY WAS PERFORMED ON MAY 2, 2024.
2. NO UTILITY PLANS OR REPORTS WERE PROVIDED BY THE CLIENT. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON GEOPHYSICAL LOCATING SURFACE EVIDENCE AND INFORMATION THAT COULD BE ACQUIRED FROM THE PUBLIC WORKS DEPARTMENT OF THE CITY OF BUENA PARK (IF ANY). ATLAS GEOSPATIAL PROVIDES GEOPHYSICAL LOCATING AS A BEST EFFORT SERVICE WITH NO GUARANTEE OF ACCURACY OR COMPLETENESS. THE RESULTS OF GEOPHYSICAL LOCATING MAY BE LIMITED OR AFFECTED BY SITE CONDITIONS, SOIL TYPES AND OTHER BURIED IMPEDIMENTS. DEPTHS PROVIDED HEREON REPRESENT THE RESULTS OF THIS BEST EFFORT SERVICE. GEOPHYSICAL LOCATING DOES NOT REPLACE THE NEED FOR EXCAVATION OR "POTHOLING" TO ASCERTAIN PRECISE DEPTHS AND LOCATIONS OF BURIED UTILITIES.
3. A DILIGENT INQUIRY WAS MADE WITH THE GAS PROVIDER REGARDING THE DEPTHS OF EXISTING NATURAL GAS LINES. NO RECORDS WERE AVAILABLE REGARDING THIS DEPTH.
4. THERE ARE NO SPRINGS, STREAMS, RIVERS, PONDS OR LAKES BORDERING ON OR RUNNING THROUGH THE PROPERTY.
5. THERE WAS NO EVIDENCE OF CEMETERIES OR FAMILY BURIAL GROUNDS LOCATED ON PROPERTY, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST ARCHEOLOGICAL REPORTS, OR SUFFICE IN LIEU OF AN ARCHEOLOGICAL REPORT IN THE FUTURE.
6. THERE WAS NO EVIDENCE OF THE PROPERTY USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL, HOWEVER, THIS SURVEY WILL NOT OVERWRITE ANY PAST SOILS REPORTS OR SUFFICE IN LIEU OF AN SOILS REPORT IN THE FUTURE.
7. NO EVIDENCE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES WERE OBSERVED OR MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION OR CLIENT. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON (IF ANY).
8. AT THE TIME OF WHICH THE SURVEY WAS PERFORMED THERE WAS NO EARTH MOVING, CONSTRUCTION, OR BUILDING ADDITIONS IN PROCESS.
9. ENCROACHMENTS ARE REFERENCED UNDER THE "ENCROACHMENT TABLE" ON SHEET 1 AND SHOWN GRAPHICALLY ON SHEET 3.
10. THIS ALTA SURVEY COMPLIES WITH THE REQUIREMENTS SET FORTH IN THE McDONALD'S ORDER FORM AND THE MINIMUM STANDARDS.
11. THERE ARE NO GAPS OR GORES BETWEEN THE PROPERTIES LISTED WITHIN THE TITLE REPORT LISTED HEREON.
12. SUBJECT PROPERTY HAS DIRECT ACCESS FROM LINCOLN AVENUE AND HOFFMAN STREET, LOCATIONS SHOWN ON SHEET 3.
13. THE LANDS SHOWN HEREON ARE THE SAME AS DESCRIBED IN TITLE COMMITMENT ORDER NO: CA2308809C PROVIDED BY CHICAGO TITLE INSURANCE COMPANY.

BASIS OF BEARING

BEING THE SOUTH LINE OF SECTION 10 AS SHOWN ON TRACT MAP NO. 16048, HAVING A BEARING OF N89°37'14"W.

BENCHMARK INFORMATION

THE OFF-SITE BENCHMARK IS BASED ON NAVD 1988 DATUM. BENCHMARK USED IS ORANGE COUNTY PUBLIC WORKS, DESIGNATION BM-A-82, DESCRIBED BY OCS 2002 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "TM-BA-82", SET IN THE TOP OF A 6 IN. BY 6 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE NORTHWESTERLY CORNER OF THE INTERSECTION OF HOLDER STREET AND LINCOLN AVENUE, 67 FT. WESTERLY OF THE CENTERLINE OF HOLDER, 45 FT. NORTHERLY OF THE CENTERLINE OF LINCOLN AND 3.1 FT. NORTHERLY OF THE CURB FACE. MONUMENT IS SET LEVEL WITH THE SIDEWALK. ELEVATION= 63.13 FEET.

THE ON-SITE BENCHMARK IS BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION= 60.41 FEET.

ZONING & SETBACKS

SUBJECT PARCEL
FRONT: 20 FEET
REAR: 10 FEET
SIDES: 10 FEET / STREET SIDE: 20 FEET
MAX BUILDING HEIGHT: 42 FEET & 8 STOREYS
MAX BUILDING COVERAGE: NONE LISTED
ZONE: CS (COMMUNITY SHOPPING)
CONTAINS: 56 STANDARD PARKING STALLS
CONTAINS: 2 HANDICAP STALLS
CONTAINS: 0 MOTORCYCLE STALLS
58 TOTAL STALLS

- NOTES:
1. NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT TO THE SURVEYOR. ALL SETBACK INFORMATION WAS PROVIDED BY THE CITY OF BUENA PARK PLANNING DEPARTMENT WEBSITE: WWW.BUENAPARK.COM. ANY QUESTIONS OR DISCREPANCIES SHOULD BE DIRECTED TO THE CITY AT PHONE NUMBER (714) 962-3550, OR AT THE COUNTER AT 6650 BEACH BLVD, BUENA PARK, CA. 90622-5009. IT IS NOT OUR POLICY TO MAKE CALCULATIONS TO DETERMINE REQUIREMENTS FOR THE SITE, BUT ONLY TO REPORT INFORMATION AS DISCOVERED.
2. NO SUBDIVISION OR RE-PLAT IS REQUIRED TO CONVEY THE SURVEYED PROPERTY.

FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 90599C0109J, PROJECT SITE LIES IN FLOOD ZONE "X-SHADED".
FLOOD "X-SHADED" DESIGNATION IS DEFINED AS: "0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE." PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

ENCROACHMENT TABLE

- ⚠️ ADJACENT OWNERS WALL ENCROACHES ONTO SUBJECT OWNERS PROPERTY. SEE SHEET 3 FOR DETAILS.
⚠️ SUBJECT OWNERS SIGNAGE ENCROACHES ONTO CITY RIGHT OF WAY. SEE SHEET 3 FOR DETAILS.
⚠️ ADJACENT OWNERS BUILDING COLUMNS ENCROACH ONTO SUBJECT OWNERS PROPERTY. SEE SHEET 3 FOR DETAILS.

SHEET INDEX

SHEET 1: PROPERTY / TITLE INFORMATION
SHEET 2: PROPERTY BOUNDARY / PROCEDURE OF SURVEY
SHEET 3: TOPOGRAPHY

OWNERS

KENNETH SKOLIMBIS AND JOANNE SKOLIMBIS, TRUSTEES OF THE 2018 SKOLIMBIS FAMILY TRUST DATED JUNE 26, 2018, AND ANY AMENDMENTS THERETO.

SURVEYOR'S CERTIFICATE

TO CHICAGO TITLE INSURANCE COMPANY AND McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION, AND McDONALD'S CORPORATION, A DELAWARE CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2 THROUGH 5, 6 (A)(B), 7 (A)(B)(C), 8, 9, 10, 13 THROUGH 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 2, 2024.

DATE OF PLAT OR MAP: _____

FOR LEGAL AND TITLE REVIEW ONLY

NOT TO SCALE
FOR REFERENCE ONLY



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
AMELIA BELTRAN, R.C.E. NO. 87468 DATE: 10/23/2025
EXP. 09/30/2027



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Call before you dig.

GRADING PLAN FOR McDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EXISTING CONDITIONS

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:
					APPROVED:
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

REFERENCES:

GP-

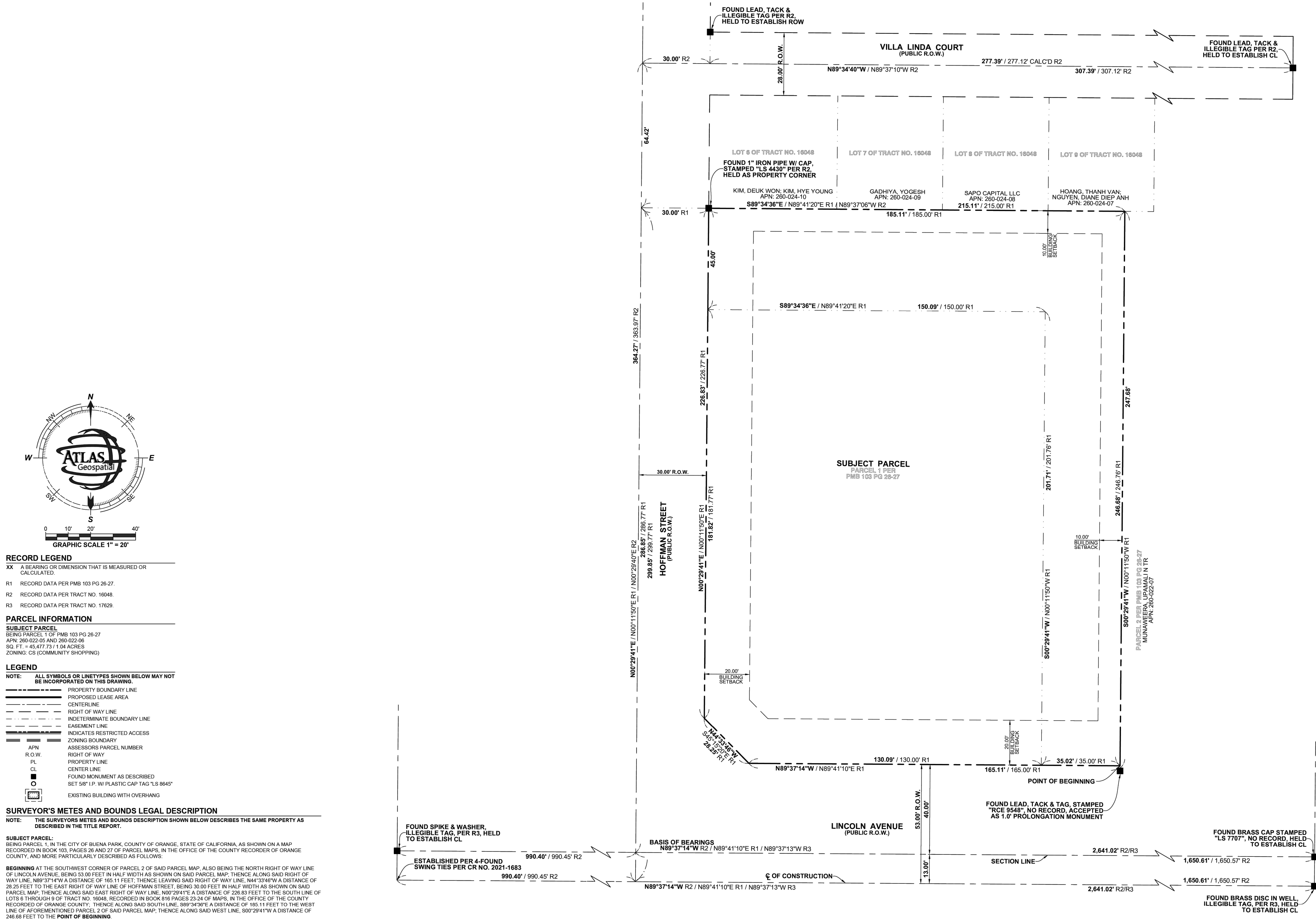
REV. NO.

SHEET 2 OF 18

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 — buena park (4-5199)\CADD\plansheets\C1.0 — CIVIL COVER SHEET.dwg 3 — EXISTING CONDITIONS Oct 23, 2025 12:27pm by: Jenny/Sheng
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ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



RECORD LEGEND
XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED
R1 RECORD DATA PER PMB 103 PG 26-27
R2 RECORD DATA PER TRACT NO. 16048
R3 RECORD DATA PER TRACT NO. 17629

PARCEL INFORMATION
SUBJECT PARCEL
BEING PARCEL 1 OF PMB 103 PG 26-27
APN: 260-022-05 AND 260-022-06
SQ. FT. = 45,477.73 / 1.04 ACRES
ZONING: CS (COMMUNITY SHOPPING)

LEGEND
NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.
--- PROPERTY BOUNDARY LINE
--- PROPOSED LEASE AREA
--- CENTERLINE
--- RIGHT OF WAY LINE
--- INDETERMINATE BOUNDARY LINE
--- EASEMENT LINE
--- INDICATES RESTRICTED ACCESS
--- ZONING BOUNDARY
--- ASSESSORS PARCEL NUMBER
--- RIGHT OF WAY
--- PROPERTY LINE
--- CENTER LINE
--- FOUND MONUMENT AS DESCRIBED
--- SET 3/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
--- EXISTING BUILDING WITH OVERHANG

SURVEYOR'S METES AND BOUNDS LEGAL DESCRIPTION
NOTE: THE SURVEYOR'S METES AND BOUNDS DESCRIPTION SHOWN BELOW DESCRIBES THE SAME PROPERTY AS DESCRIBED IN THE TITLE REPORT.

SUBJECT PARCEL:
BEING PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 2 OF SAID PARCEL MAP, ALSO BEING THE NORTH RIGHT OF WAY LINE OF LINCOLN AVENUE, BEING 53.00 FEET IN HALF WIDTH AS SHOWN ON SAID PARCEL MAP; THENCE ALONG SAID RIGHT OF WAY LINE, N89°37'14"W A DISTANCE OF 165.11 FEET; THENCE LEAVING SAID RIGHT OF WAY LINE, N41°33'48"W A DISTANCE OF 26.25 FEET TO THE EAST RIGHT OF WAY LINE OF HOFFMAN STREET, BEING 30.00 FEET IN HALF WIDTH AS SHOWN ON SAID PARCEL MAP; THENCE ALONG SAID EAST RIGHT OF WAY LINE, N00°29'41"E A DISTANCE OF 226.83 FEET TO THE SOUTH LINE OF LOTS 6 THROUGH 9 OF TRACT NO. 16048, RECORDED IN BOOK 618 PAGES 22-24 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY; THENCE ALONG SAID SOUTH LINE, S89°34'36"E A DISTANCE OF 185.11 FEET TO THE WEST LINE OF AFOREMENTIONED PARCEL 2 OF SAID PARCEL MAP; THENCE ALONG SAID WEST LINE, S00°29'41"W A DISTANCE OF 246.88 FEET TO THE POINT OF BEGINNING.

NOT TO SCALE
FOR REFERENCE ONLY



DATE	REVISIONS	BY

ALTANSPS LAND TITLE SURVEY
FOR McDONALD'S 004-5199
6201 LINCOLN AVENUE, CITY OF BUENA PARK, COUNTY OF ORANGE STATE OF CALIFORNIA

PROJECT NUMBER: 004-5199
DWG NAME: 24-009 BUENA PK LINCOLN WCD ALTA
PREPARED BY: COJAM DATE: 05.20.2024
CHECKED BY: JAAWVWV DATE: 05.20.2024
REVISION SHEET
0 2 OF 3

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602 EXISTING CONDITIONS				
REVISIONS			CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP: RECOMMENDED:
				APPROVED:
				BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

REFERENCES:	
GP-	REV. NO.
SHEET 3 OF 18	

ENGINEERS SEAL

Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
AMELIA BELTRAN, R.C.E. NO. 87468 DATE: 10/23/2025
EXP. 09/30/2027

811

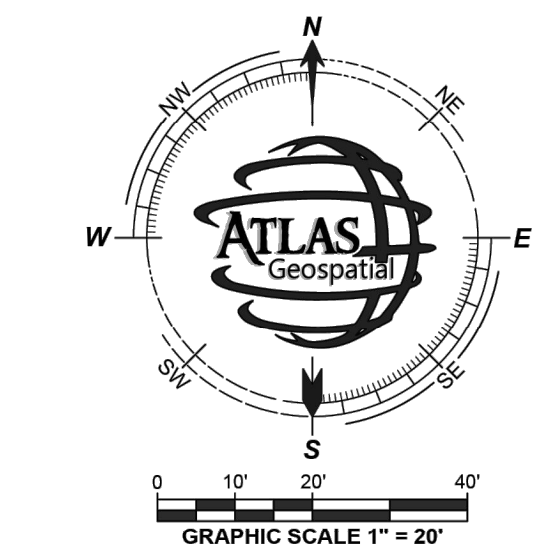
Know what's below.
Call before you dig.

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plansheets\c1.0 - CIVIL COVER SHEET.dwg 4 - EXISTING CONDITIONS Oct 23, 2025 12:27pm by: JennySheng

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ALTA/NSPS LAND TITLE SURVEY

OF PARCEL 1, IN THE CITY OF BUENA PARK, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 103, PAGES 26 AND 27 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.



RECORD LEGEND

- XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED
- R1 RECORD DATA PER PMB 103 PG 26-27
- R2 RECORD DATA PER TRACT NO. 18048
- R3 RECORD DATA PER TRACT NO. 17629

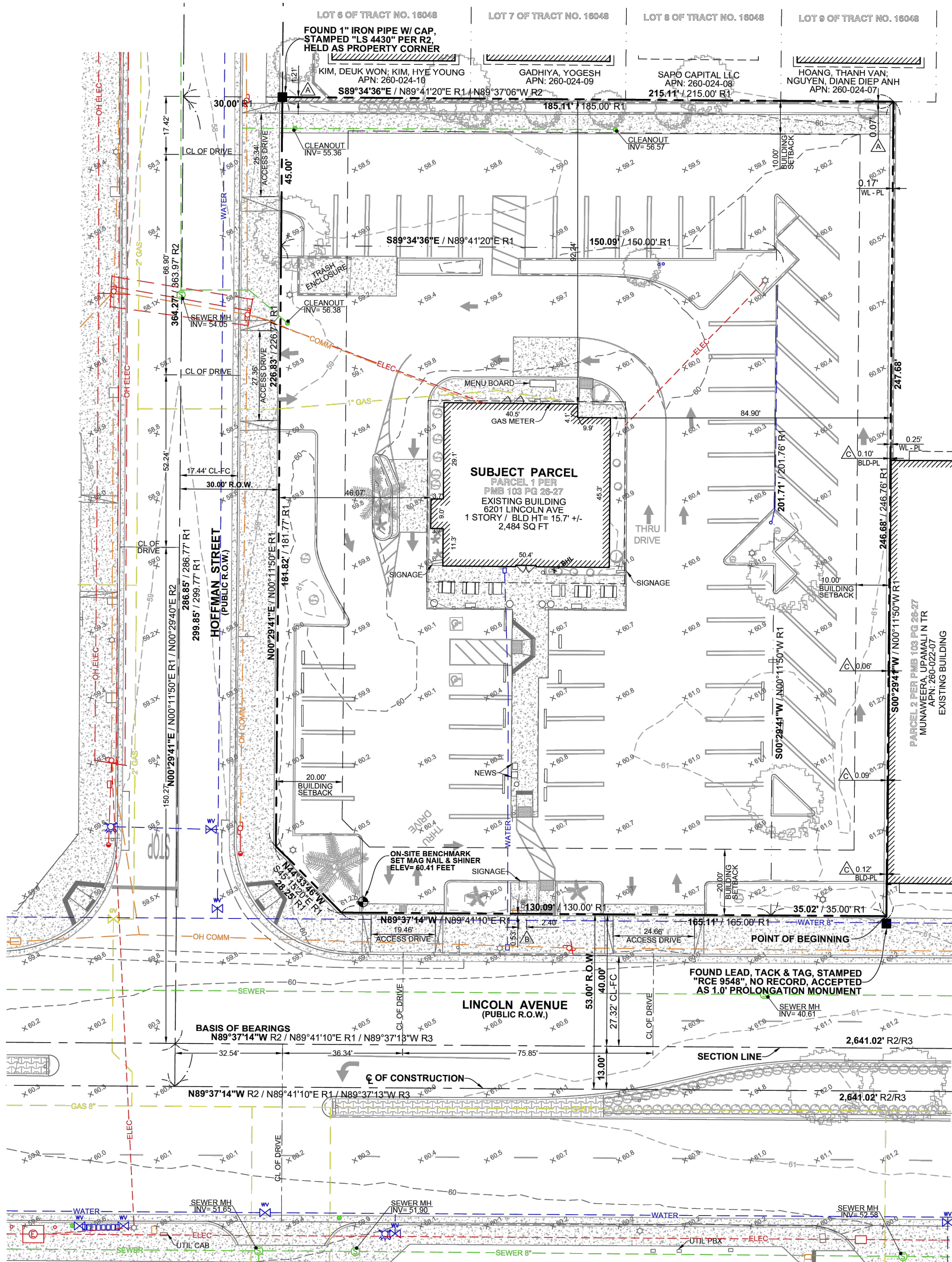
PARCEL INFORMATION

SUBJECT PARCEL
BEING PARCELS 1 OF PMB 103 PG 26-27
APN: 260-022-05 AND 260-022-06
SQ. FT. = 40,477.73 (1.04 ACRES)
ZONING: CS (COMMUNITY SHOPPING)

LEGEND

NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

- PROPERTY BOUNDARY LINE
PROPOSED LEASE AREA
CENTERLINE
RIGHT OF WAY LINE
INDETERMINATE BOUNDARY LINE
EASEMENT LINE
EXISTING CONTOURS
OVERHEAD ELECTRICAL LINE
EXISTING CHAIN LINK FENCE
EXISTING WROUGHT IRON FENCE
BLOCK WALL
INDICATES RESTRICTED ACCESS
ZONING RESTRICTED ACCESS
ASSESSORS PARCEL NUMBER
RIGHT OF WAY
PROPERTY LINE
CENTERLINE
FACE OF CURB
WALL
FENCE
INVERT
IRRIGATION CONTROL VALVE
PULLBOX
FIRE DEPARTMENT CONNECTION
POST INDICATOR VALVE
BACKFLOW PREVENTOR
ELECTRIC
COMMUNICATION
BUILDING HEIGHT LOCATION
FIRE HYDRANT
LIGHT WITH CONCRETE BASE
WATER VALVE
GAS VALVE
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
SEWER CLEANOUT
GREASE INTERCEPTOR MANHOLE
COMMUNICATION MANHOLE
SPOT ELEVATIONS
STREET SIGN
UTILITY POLE
GUY WIRE
EXISTING BOLLARD
TRAFFIC SIGNAL/LIGHTPOLE
FOUND MONUMENT AS DESCRIBED
SET 5/8" I.P. W/ PLASTIC CAP TAG 1.5 845°
EXISTING BUILDING WITH OVERHANG



NOT TO SCALE
FOR REFERENCE ONLY



DATE	BY	REVISIONS

ALTANSPS LAND TITLE SURVEY
FOR McDONALD'S 004-5199

6201 LINCOLN AVENUE, CITY OF
BUENA PARK, COUNTY OF ORANGE
STATE OF CALIFORNIA

PROJECT NUMBER: 004-5199
DWG NAME: 24-009 BUENA PK LINCOLN MCD ALTA
PREPARED BY: COAM DATE: 05.20.2024
CHECKED BY: JAAW/WW DATE: 05.20.2024
REVISION SHEET
0 3 OF 3

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS GEOSPATIAL WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS GEOSPATIAL. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS GEOSPATIAL IS FORBIDDEN.

ENGINEERS SEAL



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran DATE: 10/23/2025
AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027



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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EXISTING CONDITIONS

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:

REFERENCES:

GP-	REV. NO.

SHEET 4 OF 18

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 -- buena park (4-5199)\CADD\plansheets\C2.0 -- GENERAL NOTES.dwg 5 -- PRIVATE GENERAL NOTES Oct 23, 2025 12:28pm by: Jenny-Sheng
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GENERAL CONSTRUCTION NOTES

1. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
3. THE CONTRACTOR AND SUBCONTRACTORS SHOULD BE FAMILIAR WITH ALL STATE AND LOCAL REQUIREMENTS RELATED TO SITE CONSTRUCTION ACTIVITIES PRIOR TO COMMENCING WORK. ALL WORK SHALL CONFORM AS APPLICABLE TO THESE GOVERNING STANDARDS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
5. UTILITIES UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
14. ANY EXISTING UTILITY, WHICH IS TO BE EXTENDED, WHICH IS THE CONNECTION POINT FOR NEW UNDERGROUND UTILITIES, OR WHICH NEW FACILITIES CROSS, SHALL BE EXPOSED BY THE CONTRACTOR PRIOR TO PLACEMENT OF THE NEW UTILITIES. COST OF SUCH EXCAVATION AND SUBSEQUENT BACKFILL SHALL BE INCLUDED IN THE PRICES PAID FOR THE VARIOUS ITEMS OF WORK. THE ELEVATIONS AND LOCATIONS OF THE EXISTING FACILITIES WILL BE CHECKED BY THE PUBLIC WORKS INSPECTOR AND THE ENGINEER. IF IN THE OPINION OF THE INSPECTOR A CONFLICT EXISTS, THEN THE ENGINEER SHALL MAKE ANY NEEDED GRADE AND/ OR ALIGNMENT ADJUSTMENTS AND REVISE THE PLANS ACCORDINGLY. ALL GRAVITY FLOW PIPELINES TO BE LAID UPGRADE FROM THE LOWEST POINT STARTING AT THE END OF EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST 24 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION. TOLERANCE SHALL BE IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS.

DESIGN ENGINEER NOTES

1. THE TERM 'DESIGN ENGINEER' USED HEREIN SHALL MEAN THE ENGINEER WHO HAS SIGNED AND SEALED HIS/HER RESPECTIVE PLAN SHEETS AND IS IN RESPONSIBLE CHARGE OF THE ENGINEERING DESIGN ON THOSE SHEETS. THE TERM CONTRACTOR'S USED HEREIN SHALL MEAN ANY GENERAL CONTRACTOR OR SUBCONTRACTOR USING THESE PLANS.
2. THE DESIGN ENGINEER SHALL NOT PROVIDE, OBSERVE, COMMENT ON NOR ENFORCE ANY SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, IMPLEMENT, AND MAINTAIN ALL SAFETY MEASURES AND SHALL BE SOLELY RESPONSIBLE FOR ALL REQUIRED SAFETY MEASURES, PROCEDURES AND PROGRAMS AND COMPLYING WITH ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. THE CONTRACTOR AGREES THAT SHE/HIS SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
3. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY FOR ANY OF THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, TECHNIQUES, EQUIPMENT CHOICE AND USAGE, SEQUENCE, SCHEDULE, SAFETY PROGRAMS, OR SAFETY PRACTICES, NOR SHALL THE DESIGN ENGINEER HAVE ANY AUTHORITY OR RESPONSIBILITY TO DIRECT OR STOP THE WORK OF ANY CONTRACTOR.
4. ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ENGINEER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
5. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSSES, DAMAGES, COSTS, EXPENSES, FEES, OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
6. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFI IN WRITING FROM THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED WORK. ANY RESPONSE TO THE RFI SHALL BE PROVIDED IN WRITING FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED, IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS DESIGNATED AS 'ISSUED FOR CONSTRUCTION', OR EQUIVALENT DESIGNATION, MAY BE RELIED UPON.
7. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THE DESIGN PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO PERMIT REVISIONS TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.
8. ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
9. THE EXISTENCE, LOCATION, TYPE, CONDITION AND SIZE OF UNDERGROUND UTILITIES, FACILITIES OR STRUCTURES ('FACILITIES') SHOWN ON THESE PLANS WAS OBTAINED FROM A SEARCH OF READILY AVAILABLE RECORDS, OR BY OTHER MEANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION. THE CONTRACTOR SHALL CONFIRM SAID INFORMATION BY FIELD MEASUREMENTS, OBSERVATIONS AND WHATEVER MEANS NECESSARY. PRIOR TO CONSTRUCTION OF ANY FACILITY, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY FACILITY. IF ANY DISCREPANCIES OR CONFLICTING INFORMATION IS FOUND, THE CONTRACTOR SHALL PROTECT THE FACILITIES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS, AS NEEDED. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE SOLE EXPENSE OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES AS REQUIRED PRIOR TO CONSTRUCTION OF THESE PLANS. TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO THE ACTUAL LOCATION, SIZE, TYPE, OR CONDITION OF EXISTING FACILITIES DIFFERING FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL SUCH FACILITIES WHETHER NOTED ON THESE PLANS OR NOT. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING FACILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE OWNER AND/OR AUTHORITY HAVING JURISDICTION AS NEEDED.
11. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK ADJACENT TO, ABOVE OR BELOW, THEIR FACILITIES AND SHALL COORDINATE ALL WORK WITH UTILITY COMPANY REPRESENTATIVES.
12. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED GRADING ELEMENTS BEFORE THE START OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
13. UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE, AS INDICATED ON THE GRADING PLANS(S) AS FINISHED SURFACE, AND FINISHED FILL. FINISHED FILL ELEVATIONS, NO REPRESENTATIONS OF SUCH QUANTITIES OR A BALANCED SITE CONDITION ARE MADE BY THE ENGINEER OF RECORD. THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE FOR PERMITTING PURPOSES ONLY. UNLESS EXPLICITLY STATED OTHERWISE HEREIN, THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, STORMWATER QUALITY MEDIA SECTIONS, UTILITY PIPES, TRENCHING MATERIALS, BUILDING OR WALL FOOTINGS, BUILDING SLABS THICKNESSES AND UNDERLYING BASE OR SAND LAYERS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE PAVEMENTS, ETC. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY OF THE INFORMATION ON THESE PLANS FOR CONSTRUCTION PURPOSES WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD.
14. PROPOSED BUILDING PAD ELEVATIONS, IF SHOWN, ARE BASED ON INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL CONFIRM SLAB STRUCTURAL SECTION THICKNESSES AND PAD PREPARATION REQUIREMENTS PRIOR TO GRADING FINISHED PADS.
15. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
16. THE PROPOSED BUILDING FOOTPRINT(S) AND OTHER STRUCTURE FOOTPRINTS SHOWN IN THESE PLANS WERE PROVIDED TO THE DESIGN ENGINEER BY THE PROJECT ARCHITECT AT THE TIME OF PREPARATION OF THESE PLANS. THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OF THESE FOOTPRINTS AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING WITH THE RELEVANT DESIGN TEAM PROFESSIONALS, AND USING THE FINAL, CORRECT VERSION OF THE FOOTPRINTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFIRMING THE STRUCTURE'S FINAL POSITION ON THE SITE BASED UPON THE FINAL ARCHITECTURAL FOOTPRINT, CIVIL PLANS, SURVEY AND ANY OTHER RELEVANT DOCUMENTS. ANY DIFFERENCES FOUND SHALL BE IMMEDIATELY REPORTED TO THE DESIGN ENGINEER AND OWNER/PROJECT ARCHITECT.
17. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT THE PROJECT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM CONTRACTOR OPERATIONS, BY APPROPRIATE MEANS, OR BY SPECIFIC MEANS DESCRIBED IN THE PROJECT'S PLANS, SPECIFICATIONS OR STORM WATER POLLUTION PREVENTION REPORT, UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHOMEVER IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE AND THE AGENCY HAVING JURISDICTION. THE DESIGN ENGINEER SHALL HAVE NO RESPONSIBILITY TO DIRECT THE CONTRACTOR REGARDING THE MEANS AND METHODS OF STORMWATER POLLUTION PREVENTION, SEQUENCE, OR SCHEDULE.
18. ALL SHOP DRAWINGS, RFIS AND ANY OTHER DOCUMENTS THAT REQUIRE DESIGN ENGINEER REVIEW SHALL BE SUBMITTED BY THE CONTRACTOR SUFFICIENTLY IN ADVANCE OF CONSTRUCTION OF THAT ITEM, TO ALLOW ADEQUATE REVIEW, COORDINATION AND RESPONSE. SAID DOCUMENTS ARE NOT A DIRECTION FROM THE DESIGN ENGINEER TO MODIFY THE CONTRACTORS SCOPE, SCHEDULE OR PRICE, AND THE CONTRACTOR WARRANTS NOT TO USE THEM AS SUCH.
19. THE CONTRACTOR SHALL ENSURE APPROPRIATE LICENSED PROFESSIONALS HAVE BEEN RETAINED BY THE CONTRACTOR TO PROVIDE ANY/ALL REQUIRED PROJECT CERTIFICATIONS AS MAY BE REQUIRED BY ANY AUTHORITY HAVING JURISDICTION. THE DESIGN ENGINEER WILL NOT PROVIDE ANY PROJECT CERTIFICATIONS UNLESS SPECIFICALLY RETAINED BY THE OWNER TO PROVIDE ULTIMATE SERVICES.
20. CONTRACTOR SHALL RETAIN A LICENSED SURVEYOR TO DOCUMENT ALL CHANGES TO THE APPROVED CONSTRUCTION DOCUMENTS DURING CONSTRUCTION. THE LICENSED SURVEYOR SHALL PREPARE A SIGNED AND SEALED 'AS-BUILT' DRAWING UPON COMPLETION OF CONSTRUCTION. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR THE PREPARATION IN WHOLE OR IN PART OF THE 'AS-BUILT' DRAWINGS.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND BENCHMARKS WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED BY THE LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE MOST CURRENT VERSION OF THE LAND SURVEYORS ACT.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE STABILIZED. THESE AREAS SHALL BE STABILIZED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFF SITE SOIL, STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

DEMOLITION NOTES

1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THE DEMOLITION PLAN FOR THE LIMITS OF ASPHALT REMOVAL (THE EXISTING PARKING LOT IS TO REMAIN). IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
3. THE CONTRACTOR SHALL REFER TO THE DEMOLITION PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION FENCING SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR CALTRANS SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND REPAIRED TO EXISTING CONDITION OR BETTER.
3. TRAFFIC CONTROL ON ALL CALTRANS, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL AN ADEQUATE STABILIZATION OCCURS.
5. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE COVERED WITH ROOK UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2' DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2' DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE STABILIZED BY MEANS AND METHODS APPROVED BY THE LOCAL AGENCY. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE COVERED WITH ROOK OR MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER CONTROL METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS AT NO TIME SHALL THERE BE OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE GOVERNING CODE.
17. EXPOSED SLOPES SHOULD BE STABILIZED WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE REQUIRED PERMITS COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY GOVERNING JURISDICTIONS.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, CLEANOUTS, GRAVITY SEWER LINES, AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK AND ADOPT COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET. THE CONTRACTOR SHALL ALSO SCOPE THE SEWER LINES ON SITE AND RECORD A DVD.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMBS AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF CALIFORNIA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDEREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.

BUILDING AND SAFETY DIVISION NOTES

1. FILL TO BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D1557.
2. FIELD DENSITY WILL BE DETERMINED BY THE SAND-CONE METHOD A.S.T.M. 1556-07 AND/OR NUCLEAR DENSITY GAUGE METHOD A.S.T.M. 2922/3017. IN FINE GRAINED, COHESIVE SOILS, FIELD DENSITY MAY BE DETERMINED BY THE DRIVE-CYLINDER METHOD D2937 A.S.T.M. PROVIDED NOT LESS THAN 20% OF THE REQUIRED DENSITY TESTS, UNIFORMLY DISTRIBUTED, ARE BY THE SAND-CONE METHOD. THE METHOD OF DETERMINING FIELD DENSITY SHALL BE SHOWN IN THE COMPACTION REPORT. OTHER METHODS MAY BE USED IF RECOMMENDED BY THE SOILS ENGINEER AND APPROVED IN ADVANCE BY THE BUILDING OFFICIAL.
3. NOT LESS THAN ONE FIELD DENSITY TEST WILL BE MADE FOR EACH TWO-FOOT VERTICAL LIFT OF FILL NOR LESS THAN ONE SUCH TEST FOR EACH 1,000 CUBIC YARDS OF MATERIAL PLACED UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
4. NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINS (IF ANY) HAS BEEN INSPECTED AND APPROVED BY THE SOILS ENGINEER.
5. NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER WILL BE PLACED IN THE FILL UNLESS REQUIREMENTS FOR SUCH PLACEMENT HAVE BEEN SUBMITTED BY THE SOILS ENGINEER IN ADVANCE AND APPROVED BY THE BUILDING OFFICIAL.
6. FINISH GRADING WILL BE COMPLETED AND APPROVED BEFORE OCCUPANCY OF BUILDINGS.
7. SEE 100 -- TITLE SHEET FOR EARTHWORK VOLUMES.
8. FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
9. PRIOR TO THE ISSUANCE OF BUILDING PERMITS, SUBMIT A SOIL'S ENGINEER REPORT ON THE EXPANSIVE PROPERTIES OF SOIL AS SUCH SOILS ARE DEFINED BY THE BUILDING CODE, SECTION 2904(B) ON ALL BUILDING SITES IN THE PROPOSED SUBDIVISION.
10. DENSITY TESTS WILL BE MADE AT POINTS APPROXIMATELY ONE FOOT BELOW THE FILL SLOPE SURFACE. ONE TEST WILL BE MADE FOR EACH 1,000 SQ. FT. OF SLOPE SURFACE, BUT NOT LESS THAN ONE TEST FOR EACH 10 FT. VERTICAL OF SLOPE HEIGHT UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.
11. ALL PADS AT ROUGH GRADING WILL HAVE A MINIMUM SLOPE OF 1 % TOWARDS THE STREET OR DESIGNED DRAINAGE OUTLET.
12. ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE POURING.
13. APPROVAL OF THIS PLAN BY THE LOCAL AGENCY DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPE OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES WITHIN THE LIMITS OF THIS PROJECT.
14. FILLS SHALL BE BENCHED IN ACCORDANCE WITH APPROVED GEOTECHNICAL REPORT
15. ALL TRENCH BACKFILLS SHALL BE TESTED AND CERTIFIED BY THE SITE SOILS ENGINEER PER THE GRADING CODE.
16. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN CONSTRUCTION.
17. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE.
18. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
19. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATION AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL INSPECT AND CONTROL THE CONSTRUCTION OF THE BUTTRESSING AND CERTIFY TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
20. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO PROVIDE CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW.
21. THE DESIGN CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING AND CONSTRUCTION FOR CONSULTATION CONCERNING COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN THIS PURVIEW.
22. DUST SHALL BE CONTROLLED BY WATERING.
23. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
24. THE LOCATION AND PROTECTION OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
25. THE CUT PORTION OF CUT/FILL TRANSITION LOTS SHOULD BE OVEREXCAVATED 36" AND BE REPLACED WITH COMPACTED FILL TO A MINIMUM RELATIVE COMPACTION OF 90% UNLESS OTHERWISE RECOMMENDED BY THE SOILS ENGINEER.


RECORD DRAWINGS

1. WHERE LOCAL JURISDICTIONS REQUIRE RECORD DRAWINGS, THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, BOTH PREPARED BY A CALIFORNIA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

PROJECT CLOSEOUT

CONTRACTOR SHALL PROVIDE THE NECESSARY ITEMS INCLUDING ANY TESTING, REPORTS, OR CERTIFICATION DOCUMENTS REQUIRED BY THE GOVERNING JURISDICTIONS TO PROPERLY CLOSEOUT THE PROJECT BEFORE IT CAN BE DEEMED COMPLETE.


ENGINEERS SEAL



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PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
DATE: 10/23/2025
AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09/30/2027



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Know what's below.

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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602				REFERENCES:	
REVISIONS			CHECKED: AMELIA BELTRAN		GP-
NO.	DATE	BY	DESCRIPTION	APP: RECOMMENDED:	
				APPROVED: BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET	
SHEET 5 OF 18					

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 -- buena park (4--5199)\CADD\plansheets\C2.0 -- GENERAL NOTES.dwg 6 -- PRIVATE GENERAL NOTES Oct 23, 2025 12:28pm by: Jenny.Sheng

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DESIGN CRITERIA

1. BUILDING CODE -- CALIFORNIA BUILDING CODE 2022
2. REFERENCE STANDARDS

A. ASCE 7--16: MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES

B. ACI 318--19: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

FOUNDATIONS

1. FOUNDATION DESIGN IS BASED ON THE GEOTECHNICAL REPORT PREPARED BY LEIGHTON A VERDANTAS COMPANY DATED JUNE 3, 2024, WHICH IS INCORPORATED HEREIN BY REFERENCE. ALL FOUNDATION AND SUBGRADE RECOMMENDATIONS SHALL BE FOLLOWED. THE GEOTECHNICAL REPORT IS AVAILABLE TO THE GENERAL CONTRACTOR. THE ARCHITECT AND ENGINEER WILL NOT BE RESPONSIBLE FOR THE ACCURACY OR APPLICABILITY OF SUCH DATA THEREIN.
2. SOIL CRITERIA:

ALLOWABLE BEARING PRESSURE1500 PSF

ACTIVE EARTH PRESSURE40 PSF/FT

PASSIVE EARTH PRESSURE360 PSF/FT

FRICTION COEFFICIENT0.35

SOIL SUBGRADE MODULUS100 PSI/IN
3. SUBGRADE FILL AND EXCAVATION REQUIREMENTS SHALL BE AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

STRUCTURAL GENERAL NOTES

1. THIS STRUCTURAL DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, ARE INSTRUMENTS OF SERVICE AND ARE INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY--HORN & ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY--HORN AND ASSOCIATES, INC.
2. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, ARCHITECTURAL, MEP, AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. SHOULD DISCREPANCIES OR CONFLICTING INFORMATION BE FOUND ON ANY PLANS, OR IN ANY SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION.
3. THE CONTRACTOR SHALL REFER TO THE ENGINEER FOR INSTRUCTIONS FOR ANY DIMENSION NOT GIVEN ON OR OBTAINABLE FROM THE DRAWINGS. THE CONTRACTOR SHALL NOT USE SCALE TO OBTAIN OR VERIFY ANY DIMENSION SHOWN ON THESE DRAWINGS.
4. ALL EXISTING INFORMATION INDICATED ON THE CONSTRUCTION DRAWINGS HAS BEEN PROVIDED BY OTHERS, AND SHOULD NOT BE ASSUMED TO BE ACCURATE. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING DIMENSIONS AND LOCATIONS OF ANY EXISTING ELEMENTS AS NECESSARY TO COMPLETE THE SCOPE OF WORK.
5. IF THERE ARE ANY QUESTIONS REGARDING THESE PLANS, THE CONTRACTOR SHALL ISSUE A RFI IN WRITING TO THE DESIGN ENGINEER AND THE OWNER, REQUESTING A CLARIFICATION BEFORE PERFORMING ANY RELATED OR IMPACTED WORK. ANY ELECTRONIC FILES ARE PROVIDED ONLY FOR THE CONVENIENCE OF THE RECEIVING PARTY AND ARE INTENDED SOLELY FOR THE EXCLUSIVE USE BY THAT PARTY FOR THE PURPOSES EXPRESSLY AUTHORIZED. IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE, ONLY PRINTED COPIES OF DOCUMENTS DESIGNATED AS "ISSUED FOR CONSTRUCTION", OR EQUIVALENT DESIGNATION, MAY BE RELIED UPON.
6. IT IS UNDERSTOOD THAT THE STRUCTURAL ENGINEER OF RECORD MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, AS TO FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE, EXCEPT THAT THESE INSTRUMENTS OF SERVICE HAVE BEEN PREPARED IN ACCORDANCE WITH THE CURRENT GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRACTICES.
7. ANYTHING MENTIONED IN THE SPECIFICATIONS, IF ANY, AND NOT SHOWN ON THE DRAWINGS, OR SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, SHALL BE OF LIKE EFFECT AS IF SHOWN OR MENTIONED IN BOTH.
8. ALL NON--STRUCTURAL ELEMENTS INDICATED ON THE STRUCTURAL DRAWINGS HAVE BEEN SHOWN IN GENERAL RELATIONSHIP TO THE STRUCTURAL ELEMENTS. ACCORDINGLY, THEY SHALL NOT BE ASSUMED TO BE ACCURATE AND REFERENCE MUST BE MADE TO THE APPROPRIATE CONSULTANT(S) PLANS AND SPECIFICATIONS.
9. WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER OF RECORD IS REQUIRED FOR ALL FIELD MODIFICATIONS TO THE STRUCTURAL SYSTEM INCLUDING, BUT NOT LIMITED TO, BEAM AND COLUMN CONNECTIONS, JOIST CONNECTIONS, JOIST BRIDGING, CUTTING OR DRILLING THROUGH ANY STRUCTURAL ELEMENT, ETC.
10. THE GENERAL CONTRACTOR SHALL COORDINATE THE WEIGHT AND SPECIFIC LOCATION OF ALL EQUIPMENT WITH THE STRUCTURAL FRAMING. IF THE EQUIPMENT DEVIATES IN WEIGHT OR LOCATION FROM THOSE INDICATED IN THE DRAWINGS, THE STRUCTURAL ENGINEER'S APPROVAL MUST BE OBTAINED PRIOR TO INSTALLATION OF THE UNITS.
11. ANY CHANGES MADE BY THE CONTRACTOR TO THE CONTRACTUALLY AGREED UPON SCOPE, SCHEDULE AND/OR FEE, WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE OWNER, IS THE SOLE RESPONSIBILITY AND LIABILITY OF THE CONTRACTOR. THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR DIRECTING, IMPLICITLY OR EXPLICITLY, ANY SUCH CHANGES AND THE CONTRACTOR ASSUMES ALL RISK OF UNDERTAKING ANY SUCH CHANGES.
12. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE DESIGN ENGINEER AND OWNER, THEIR OFFICERS, AGENTS AND EMPLOYEES, HARMLESS FROM ANY AND ALL CLAIMS, DEMANDS, JUDGMENTS, LOSS, DAMAGES, COSTS, EXPENSES, FEES OR LIABILITY WHATSOEVER, REAL OR ALLEGED, IN CONNECTION WITH, IN WHOLE OR IN PART, DIRECTLY OR INDIRECTLY, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE OR CONCURRENT NEGLIGENCE OF THE OWNER OR THE DESIGN ENGINEER.
13. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PREPARING ITS BID, IN WHOLE AND IN PART, BASED UPON THE DESIGN SHOWN ON THESE PLANS. THE CONTRACTOR IS NOT AUTHORIZED TO USE ANY QUANTITIES SHOWN ON THESE PLANS WITHOUT THE EXPLICIT WRITTEN PERMISSION OF THE ENGINEER OF RECORD. THE DESIGN ENGINEER MAKES NO WARRANTY OR REPRESENTATION AS TO THE SUITABILITY OF ANY INFORMATION SHOWN HEREON FOR DETERMINING A CONTRACTOR BID.

CONSTRUCTION SAFETY

1. IT IS UNDERSTOOD THAT THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF THE PERSONS AND PROTECT THEM AGAINST INJURY. LIKEWISE, THE CONTRACTOR SHALL PROTECT ALL PROPERTY AGAINST DAMAGE AND LOSS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF ANY PUBLIC BODY HAVING JURISDICTION FOR THE SAFETY OF PERSONS AND PROPERTY.
3. THE CONTRACTOR'S DUTIES AND RESPONSIBILITIES FOR THE SAFETY AND PROTECTION OF THE WORK SHALL CONTINUE UNTIL SUCH TIME AS THE WORK IS SATISFACTORILY COMPLETED, AND THE ENGINEER HAS ISSUED A NOTICE TO THAT EFFECT TO THE OWNER AND THE CONTRACTOR.
4. THE STRUCTURE WAS DESIGNED FOR THE IN--SERVICE CONDITIONS ONLY. THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
5. DRAWINGS DO NOT INDICATE TEMPORARY REQUIREMENTS. THE NEED FOR TEMPORARY SHORING AND BRACING, TEMPORARY DEWATERING, TEMPORARY EARTH RETENTION, TEMPORARY WATER CUTOFF OR OTHER TEMPORARY MEASURES MAY BE INDICATED ON DRAWINGS AT SELECTED AREAS AS SUGGESTIONS FOR THE CONTRACTOR'S CONVENIENCE. THE DRAWINGS DO NOT IDENTIFY ALL AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM TEMPORARY MEASURES INDICATED ON THE DRAWINGS, IDENTIFY OTHER AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES, DETERMINE MOST EFFICIENT TEMPORARY SYSTEMS, AND DESIGN AND CONSTRUCT REQUIRED TEMPORARY SYSTEMS. ALL TEMPORARY SYSTEMS SHALL BE DESIGNED BY A LICENSED ENGINEER IN THE STATE IN WHICH THE PROJECT IS LOCATED.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONSTRUCTION MEANS AND METHODS THAT WILL NOT IMPACT ADJACENT INFRASTRUCTURE.

CAST IN PLACE CONCRETE

1. PROVIDE CONCRETE ATTAINING A MINIMUM COMPRESSIVE STRENGTH AT 28 (f'c') AS FOLLOWS, UNLESS NOTED OTHERWISE:

USE	DESIGN	WEIGHT	MAX AGGREGATE SIZE	MAX W/C	SLUMP	INSPECTION
RETAINING WALLS	3,000 PSI	NORMAL WEIGHT	1"	0.50	4"±1 MAX	NO
2. ALL CONCRETE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CBC CHAPTER 19 & ACI--318, LATEST CODE ADOPTED EDITION.
3. ALL REINFORCING SHALL BE DETAILED, FABRICATED & PLACED IN ACCORDANCE WITH CRSI "MANUAL OF STANDARD PRACTICE", LATEST EDITION.
4. ALL CAST IN PLACE CONCRETE AND POST INSTALLED ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH CHAPTER 17 OF ACI 318 AS MODIFIED BY THE APPLICABLE BUILDING CODE.
5. SPACING OF CONSTRUCTION OR CONTROL JOINTS IN WALLS EXPOSED TO VIEW SHALL NOT EXCEED 30 FEET UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. CUT HALF OF THE HORIZONTAL REINFORCING AT CONTROL JOINTS.
6. SLEEVES EMBEDDED IN SLABS AND WALLS SHALL BE LOCATED CLEAR BETWEEN REINFORCING BARS AND SHALL MAINTAIN CLEAR SPACING EQUAL TO THE DIAMETER OF THE LARGEST SLEEVE IN ANY DIRECTION. SLEEVE GROUPS THAT DO NOT COMPLY WITH THE ABOVE REQUIREMENTS SHALL BE CONSIDERED AS AN OPENING AND REINFORCED PER NOTE BELOW.
7. UNLESS NOTED OTHERWISE ON THE DRAWINGS: PROVIDE EXTRA REINFORCING ON ALL SIDES OF ALL MISCELLANEOUS WALL AND SLAB OPENINGS EQUAL TO ONE HALF THE INTERRUPTED REINFORCING BARS EACH SIDE BUT NOT LESS THAN 2 -- #4 FOR EACH LAYER OF REINFORCEMENT. EXTEND BARS CLASS 'B' LAP LENGTH BUT NOT LESS THAN 2 FEET BEYOND EDGE OF OPENINGS. PROVIDE 2 -- #4X4--0" DIAGONAL BARS AT EACH CORNER FOR EACH LAYER OF REINFORCEMENT.
8. NO DRILLING THROUGH WALLS SHALL BE CARRIED OUT EXCEPT WITH THE SPECIFIC APPROVAL OF THE ENGINEER. SUCH APPROVAL, IF GRANTED, SHALL BE ON A CASE BY CASE BASIS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING REINFORCEMENT LAYOUT USING NON--DESTRUCTIVE TESTING PRIOR TO DRILLING INTO CAST CONCRETE.
9. DETAILING OF REBAR SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE ACI DETAILING MANUAL, AND CONCRETE REINFORCING INSTITUTE'S LATEST EDITION OF "MANUAL OF STANDARD PRACTICE". ALL SHOP DRAWINGS PERTAINING TO REBAR DETAILS SHALL BE SUBMITTED TO THE ENGINEER FOR THEIR REVIEW. CONCRETE MIX DESIGN FOR ALL CONCRETE WORK IS REQUIRED TO BE SUBMITTED TO THE ENGINEER FOR REVIEW.
10. CONCRETE SUPPLIER SHALL HAVE A QUALITY CONTROL PROCEDURE FOR THE PRODUCTION OF ALL CONCRETE, WHICH MUST BE ACCEPTABLE TO THE ENGINEER AND MEETS CURRENT ACI STANDARDS.
11. CONSTRUCTION JOINTS SHALL BE AS APPROVED BY THE STRUCTURAL ENGINEER.
12. MATERIAL PROPERTIES:

	ASTM	FY, KSI
A. ALL BARS UNLESS NOTED	A615	60
B. TIES & STIRRUP	A615	60
C. WELDED WIRE FABRIC (SMOOTH)	A185	65
14. LAP SPLICES ARE ALL CLASS B TENSION LAP SPLICES, UNO.
15. PROVIDE A 3/4" CHAMFER ON ALL EXPOSED CORNERS OF CONCRETE.
16. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT

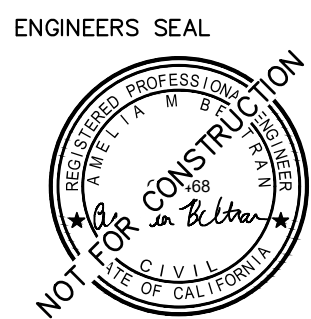
TABLE 20.6.1.3.1 -- SPECIFIED CONCRETE COVER FOR CAST--IN--PLACE NON--PRESTRESSED CONCRETE MEMBERS			
CONCRETE EXPOSURE	MEMBER	REINFORCEMENT	SPECIFIED COVER
CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE GROUND	ALL	ALL	3"
		NO. 6 THRU NO. 18	2"
EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	ALL	NO. 5 BAR, W31 OR D31 WIRE, AND SMALLER	1 1/2"
		NO. 14 THRU NO. 18 BARS	1 1/2"
NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	SLABS, JOISTS, AND WALLS	NO. 11 BARS AND SMALLER	3/4"
		BEAMS, COLUMNS, PEDESTALS, AND TENSION TIES	1 1/2"

FORMWORK, SHORING, AND RESHORING

1. THE CONTRACTOR SHALL EMPLOY, AT THEIR EXPENSE, A FORMWORK/SHORING ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED TO CONTROL ALL OPERATIONS RELATING TO DESIGN, INSTALLATION AND REMOVAL OF ALL FORMWORK, SHORING AND RESHORING.
2. PRIOR TO PLACEMENT OF CONCRETE, THE FORMWORK/SHORING ENGINEER SHALL INSPECT THE SHORING AFTER THE FIRST POUR TO VERIFY THAT THE SHORING INSTALLATION IS IN CONFORMANCE WITH THE SHORING SHOP DRAWINGS. IF ANY CHANGES ARE MADE TO THE METHOD OF SHORING DURING CONSTRUCTION, THE SHORING ENGINEER MUST INSPECT THE FIRST POUR AREA SUPPORTED BY THE CHANGED SHORING METHOD PRIOR TO PLACEMENT OF CONCRETE. A WRITTEN STATEMENT OF COMPLIANCE SIGNED BY THE SHORING ENGINEER SHALL BE SUBMITTED TO THE OWNER.

SPECIAL INSPECTIONS

1. THIS PROJECT IS EXEMPT FROM SPECIAL INSPECTION PER CBC SECTION 1704.2, EXCEPTION NUMBER 1 (CONSTRUCTION OF A MINOR NATURE)



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PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
AMELIA BELTRAN, R.C.E. NO. 87468

DATE: 10/23/2025
EXP. 09/30/2027



Know what's below.
Call before you dig.

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602					REFERENCES:	
PRIVATE GENERAL NOTES						
REVISIONS				CHECKED: AMELIA BELTRAN		
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:	
					APPROVED:	
					BENCHMARK: BASED ON NAVD 1988 DATUM. AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION -- 60.41 FEET	
					GP-	REV. NO.
					SHEET 5 OF 18	

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plansheets\C20 - GENERAL NOTES.dwg 7 - PUBLIC GENERAL NOTES Oct 23, 2025 12:28pm by: Jenny/Sheng
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

CITY OF BUENA PARK - PUBLIC WORKS DEPARTMENT

GRADING NOTES

- All grading shall be done in accordance with the City of Buena Park standards and specifications and the latest City-approved Building Code, Chapter 70, as interpreted by the City Engineer. Whenever the term "Building Official" is used, this shall mean the City Engineer or his authorized representatives.
- The following permits shall be obtained prior to any construction from the Construction Services Division and applicable fees paid to the Department.
 - Grading permit
 - Sewer permit for sewer lateral or sewer cleanout. The Public Works Inspector shall verify and field check sewer cleanout location prior to construction.
 - Concrete permit for construction of driveway approaches, sidewalks, curb and gutters.
 - Paving permit for street pavement construction.
 - Water line permit for any water main connection, fire protection line construction and domestic water service.
 - Storm drain permit for storm drain connection to an existing City storm drain facility or for new storm drain main line and lateral construction.
 - Southern California Edison Company, Pacific Bell Company, Southern California Gas Company and Comcast Cablevision permits for main or lateral facility installations in the public right of way.
- In the removal and/or construction of off-site improvements in the City right of way, the Public Works Inspector may use his discretion in determining the extent and limit of work to be undertaken in conformance with the City requirements and in accordance with the approved plans, specifications and City standards.
- On-site water and sewer laterals shall be in accordance with the latest revision of the Uniform Plumbing Code and inspected by Building Division.
- Masonry block wall and retaining wall calculations and construction shall be reviewed, inspected and approved, and permit issued by the Building Division.
- All excavations, construction and installations in the public right of way require inspection. Failure to have inspection will result in reopening of the excavation and possible reconstruction.
- All waste, vegetation, refuse and deleterious materials shall be removed prior to any grading.

- No water shall be taken from City fire hydrants without approved application from the Construction Services Division and payment of fees and deposits.
- Dust shall be controlled by watering.
- Contractor shall notify UNDERGROUND SERVICE ALERT a minimum of 48 hours advance notice (1/800/422-4133) prior to excavation.
- Contractor is required to call 714/562-3686, at least 48 hours in advance for inspection.
- No construction or grading shall begin prior to pre-construction meeting with City Public Works Inspector from the Construction Services Division.
- Developer will submit two (2) copies of approved street light location plans from S.C. Edison to the City prior to issuance of City permit for street lights.
- Developer/owner shall be responsible for checking and recognizing all easements in the development and adjacent properties. Engineer of Record shall be responsible for indicating existing utility locations and resolving possible conflicts of service connections for the development.
- Developer/contractor shall submit a traffic control plan for approval prior to any lane closure or work in the City right of way. Plans shall show the proper placing of barricades or delineators for traffic direction and information.
- Utility trenches within the City right of way shall not be excavated and left opened on Fridays and weekends. Utility trenches shall be properly provided with steel covers and traffic delineators in accordance with City standards and to the satisfaction of the City Engineer.
- Compaction on native soil shall be a minimum 95%. With aggregate base over native, minimum compaction is 90%.

Revised April 13, 1994

ENG/CONST.GRADING/1

CITY OF BUENA PARK

Department of Public Works
"Service with Pride"

GENERAL NOTES

- All work shall be in accordance with the applicable sections of the Standard Specifications for Public Works, Construction (the Green Book), latest edition, and all subsequent supplements, City of Buena Park Standards, contract documents, and the latest revisions thereof.
- The location and existence of utilities and improvements shown on the plans are approximate and taken from available records. The contractor shall verify the location of existing improvements and shall take all precautions to protect them whether shown or not. The contractor shall notify the **UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600** 48 hours before any excavation.
- Contractor shall notify the City Public Works Inspector assigned to the project at least 48 hours prior to beginning of any work.
- When joining existing pavement, contractor shall feather a minimum of 10'. New construction joining existing paving shall be done with no dangerous or noticeable joints as determined by the City Engineer.
- Existing raised pavement markers shall be removed prior to construction and replaced upon the finished surface at the same location.
- The contractor shall provide and maintain traffic control devices at all times in accordance with the standard specifications and as directed by the City Engineer.
- The contractor shall remove all grass and weeds in cracks or between gutter and pavement and sterilize soil to prevent further growth.
- All cracks 1/8" wide or greater shall be filled with joint sealer prior to overlay, as noted in specifications.
- All projects approved by the City shall be designed and constructed within drainage guidelines established by the City and NPDES requirements.

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CITY OF BUENA PARK - DEPARTMENT OF PUBLIC WORKS

WATER NOTES

Page 1 of 2

- All water systems as shown on plans will be installed in accordance with City standards under the jurisdiction of and operated by the City of Buena Park. Main lines to be 150# ductile iron pipe conforming to ANSI/AWWA C-150/A 21.50 and design method shall conform to ANSI/AWWA C-150/A 21.50 (wrapped in polyethylene) or approved equal.
- All water lines within the street right of way shall have a minimum cover of 30" on service laterals and 36" for mains below finished grade.
- Fire hydrant assemblies shall be per City of Buena Park standard No. 531 which includes a 6" gate valve as shown.
- Gate valves shall be per City of Buena Park standard No. 518.
- Thrust blocks shall be installed at angles and bends and shall be per City of Buena Park standard No. 532 and No. 533.
- Hot taps shall be per City of Buena Park standard No. 524, 525 or 526.
- All water lines shall be chlorinated at 40 to 50 ppm tested and approved by the Orange County Health Department for bacteriological quality prior to acceptance. Lines failing the test shall be rechlorinated and retested until passing (see Inspector).
- Water lines shall be pressure tested for leakage per City of Buena Park standard.
- Fittings shall be cast iron conforming to ASA A2110 or equal or AWWA C 110 and shall be cement mortar lined in accordance with AWWA C 104 or ASA A 21-4 specification. Fittings shall have caulked or rubber ring joints and installed per the pipe manufacturer's specifications and recommendations.

Revised April 13, 1994

ENG/CONST.NOTES

CITY OF BUENA PARK - DEPARTMENT OF PUBLIC WORKS

WATER NOTES (continued)
Page 2 of 2

- Water meter boxes and vaults shall be per City of Buena Park standard No. 516, with service connection per standard No. 517.
- All fire hydrants shall be centered in 3' x 3' x 4" concrete slab when not located in sidewalk area.
- Backfill on water main shall be provided with sand bedding 6" below and 1' above the pipe to the satisfaction of the City Engineer.
- No construction shall begin prior to pre-construction meeting with City Public Works Inspector from the Construction Services Division.

Revised April 13, 1994

ENG/CONST.NOTES

CITY OF BUENA PARK - DEPARTMENT OF PUBLIC WORKS

SEWER NOTES

- The sewer system as shown on plans shall be installed in accordance with the specifications and standards of the City of Buena Park.
- All sewer manholes shall be a minimum of 15" below finished grade and the sewer contractor shall raise manhole frame and covers to finished grade after surfacing is completed.
- All manholes shall be per City of Buena Park standard No. 505 and 510.
- All laterals shall be per City of Buena Park standard No. 513.
- Manholes shall be provided with non-magnetic stainless steel steps as approved by the City Engineer.
- All sewer lines shall be tested for leakage, balled and mirrored.
- Sanitary sewers in vicinity of water mains shall conform to City of Buena Park standard No. 535, for encasement requirements.
- Maintenance on individual laterals will be the responsibility of the property owners. The City has no responsibility for cleaning or repairing these laterals.
- Sanitary sewer cleanouts shall be per city of Buena Park standard No. 511.
- No construction shall begin prior to pre-construction meeting with City Public Works Inspector from the Construction Services Division.

Revised April 13, 1994

ENG/CONST.NOTES

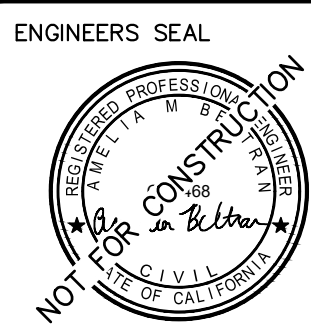
CITY OF BUENA PARK - DEPARTMENT OF PUBLIC WORKS

STORM DRAIN NOTES

- All storm drain systems as shown on the plans shall conform to the City of Buena Park standards and specifications.
- All work performed shall be covered by a permit issued by the Construction Services Division.
- Existing improvements removed or damaged due to the proposed construction shall be replaced to the satisfaction of the City Engineer.
- Reinforced concrete pipe shall conform to Subsection 207-2 of the Standard Specifications.
- Construction shall conform to Section 306 of the Standard Specifications.
- The contractor shall notify the City and UNDERGROUND SERVICE ALERT (1-800-422-4133) at least 48 hours prior to the commencement of any work proposed under these plans.
- It will be the responsibility of the contractor to obtain approved plans prior to the commencement of work proposed under these plans.
- Reinforced concrete pipe shall conform to the specifications of AASHTO, Designation M-170 and Section 65 of the State of California Standard Specifications.
- Pipe shall be installed in accordance with LACFCD Case III bedding as shown on standard drawings 2-D177. "W" Values shall be as specified on standard drawing 2-D177 for Case III bedding notes (3a), (3b), (3c).
- No construction shall begin prior to pre-construction meeting with City Public Works Inspector from the Construction Services Division.

Revised April 13, 1994

ENG/CONST.NOTES



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180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EXISTING GENERAL NOTES

REVISIONS				CHECKED: AMELIA BELTRAN	
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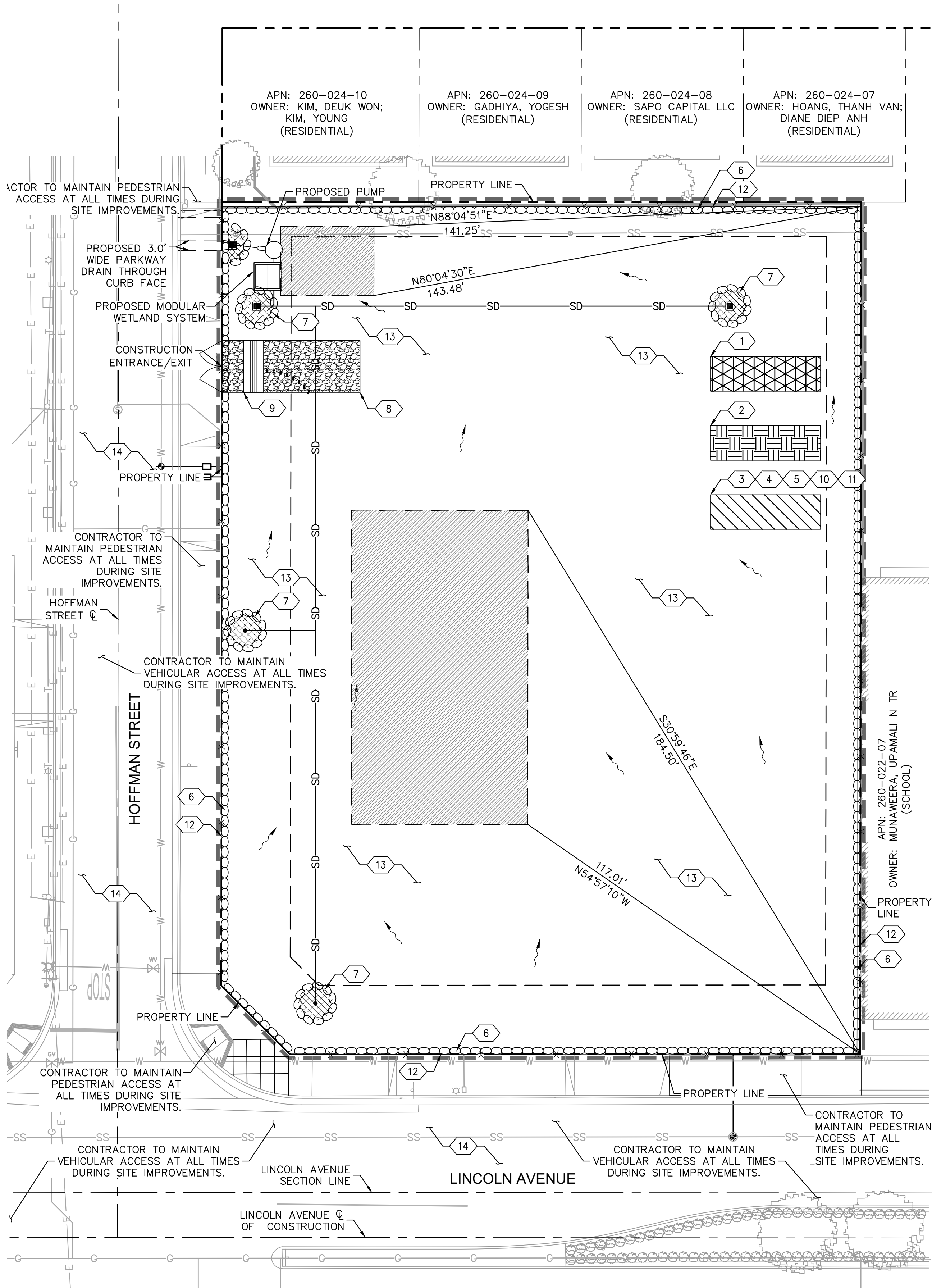
GP-

REV. NO.

SHEET 7 OF 18

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plansheets\C30 - EROSION CONTROL PLAN.dwg 8 - EROSION CONTROL PLAN Oct 23, 2025 12:28pm by: Jenny.Sheng

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LEGEND

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT / SETBACK LINE
- APPROXIMATE CIVIL LIMIT OF WORK LINE
- FILTREX SILTSOXX OR APPROVED EQUAL
- CONSTRUCTION FENCE WITH GREEN SCREEN
- PROPOSED STORM DRAIN LINES
- EXISTING STORM DRAIN LINES
- PROPOSED STORM DRAIN INLET
- INLET PROTECTION
- CONSTRUCTION ENTRANCE
- STOCKPILE AREA
- SANITARY AREA, TRASH STORAGE, HAZARDOUS MATERIAL, CONCRETE MANAGEMENT, VEHICLE MAINTENANCE AND EQUIPMENT STORAGE AREA
- MATERIAL STORAGE AND DELIVERY
- DIRECTION OF FLOW
- LIMITS OF EARTHWORK PREPARATION FOR PROPOSED BUILDING AND SITE WALLS (RECOMMENDED 3 FOOT LATERAL DISTANCE BEYOND THE PERIMETER OF PROPOSED BUILDING AND SITE WALLS HAS BEEN INCORPORATED). REFER TO EARTHWORK SECTION OF GEOTECHNICAL REPORT FOR MORE INFORMATION

GENERAL EROSION CONTROL NOTES

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND MUST NOT CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR ANY OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- STORM WATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED ONTO THE EROSION CONTROL PLANS FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 AND APRIL 15. THE FOLLOWING NOTES AND BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION MAY APPLY DURING THE CONSTRUCTION OF PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTIONS).
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE CONTRACTOR AND/OR THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- ALL STANDARDS REFERENCED FROM 2018 CASQA CONSTRUCTION BMP BOOK.

MAINTENANCE NOTES (CONT'D)

- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

EROSION CONTROL NOTES

- WM-1, MATERIAL DELIVERY AND STORAGE.
- WM-3, STOCKPILE MANAGEMENT, CONTRACTOR TO SET UP STOCKPILE AREA.
- WM-5, SANITARY AREA.
- WM-6, HAZARDOUS WASTE MANAGEMENT.
- WM-8, CONCRETE WASTE MANAGEMENT.
- SE-5, INSTALL FILTREXX SILTSOXX OR APPROVED EQUAL. REFER TO DETAIL 3, SHEET 9 FOR MORE INFORMATION.
- SE-10, STORM DRAIN INLET PROTECTION. INSTALL PIC SEDIMENT DRAIN INLET FILTER AT ALL DROP INLETS AND ERTEC CURB INLET GUARD AT CURB INLETS OR APPROVED EQUAL.
- TC-1, STABILIZED CONSTRUCTION ENTRANCE/EXIT; REFER TO DETAIL 1, SHEET 9.
- TC-3, ENTRANCE/OUTLET TIRE WASH; REFER TO DETAIL 2, SHEET 9.
- NS-10, VEHICLE AND EQUIPMENT MAINTENANCE.
- SD-32, TRASH STORAGE AREA.
- CONSTRUCTION FENCE WITH GREEN SCREEN
- WE-1, WIND EROSION CONTROL
- SE-7, VACUUM SWEEPING OF ADJACENT STREETS.

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

PHASE 1:

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1) AND CHAIN LINK FENCE WITH GREEN SCREEN AND THEN FILTREXX SILTSOXX OR APPROVED EQUAL (OR GRAVEL BAGS) WHERE SHOWN ON PLAN.
- INSTALL INLET PROTECTION AT EXISTING INLET(S).
- PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.

PHASE 2:

- PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
- START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.

SEQUENCE OF CONSTRUCTION GENERAL NOTE:

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.

MAINTENANCE NOTES

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- FILTREXX SILTSOXXS OR APPROVED EQUAL SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE FILTREXX SILTSOXXS OR APPROVED EQUAL WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FILTREXX SILTSOXX OR APPROVED EQUAL.

BMP NOTES

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BMP HANDBOOK DATED NOVEMBER 2018, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED AS NEEDED:

- EC-1, SCHEDULING
- EC-2, PRESERVATION OF EXISTING VEGETATION
- WE-1, WIND EROSION CONTROL
- NS-1, WATER CONSERVATION PRACTICES
- NS-3, PAVING AND GRINDING OPERATIONS
- NS-7, POTABLE WATER/IRRIGATION
- NS-12, CONCRETE CURING
- NS-13, CONCRETE FINISHING
- WM-4, SPILL PREVENTION AND CONTROL
- WM-7, CONTAMINATED SOIL MANAGEMENT
- WM-9, SANITARY/SEPTIC WASTE MANAGEMENT
- WM-10, LIQUID WASTE MANAGEMENT
- SE-7, STREET SWEEPING AND VACUUMING

CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL AND PEDESTRIAN CONTROL WHILE PERFORMING WORK IN THE PUBLIC RIGHT-OF-WAY.

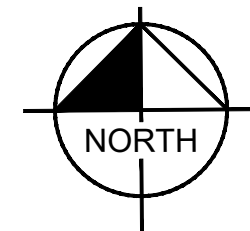
SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION.

CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.

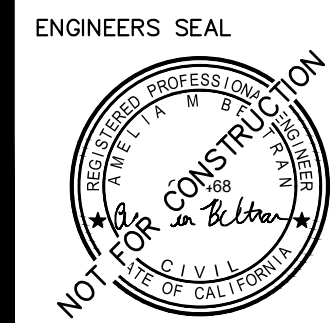
SWPPP NOTE

WQID: TBD

SITE DISTURBANCE IS GREATER THAN 1-ACRE. CONTRACTOR SHALL OBTAIN AND CONTRACT WITH A QUALIFIED SWPPP PRACTITIONER FOR THE DURATION OF CONSTRUCTION, IN COMPLIANCE WITH THE PROJECT APPROVED SWPPP REPORT, FROM INITIAL SITE DISTURBANCE TO FINAL SITE STABILIZATION. QSP SHALL FILE THE NOTICE OF TERMINATION (NOT) WITH THE STATE OF CALIFORNIA AT THE COMPLETION OF CONSTRUCTION.



GRAPHIC SCALE IN FEET
0 10 20 40
1" = 20'
WHEN PRINTED AT FULL SIZE
(24" X 36")



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
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DATE: 10/23/2025
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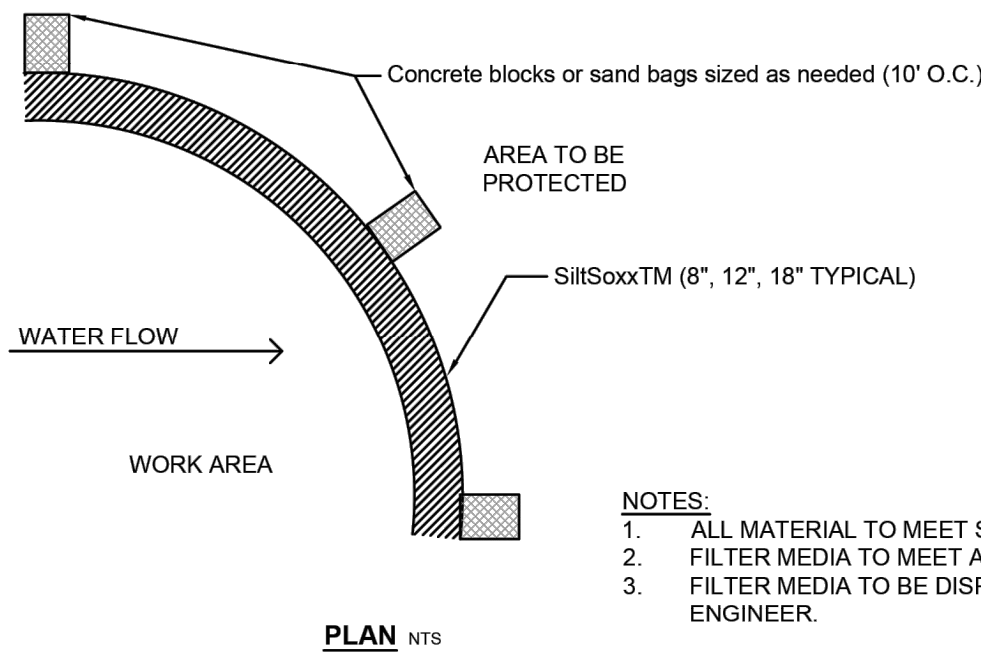
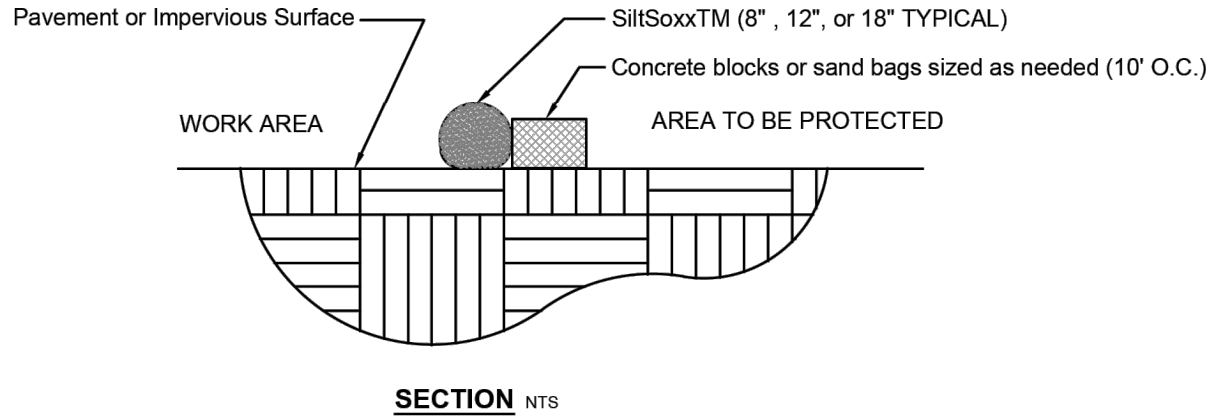
GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EROSION CONTROL PLAN

REVISIONS				CHECKED: AMELIA BELTRAN	
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GP-
SHEET 8 OF 18

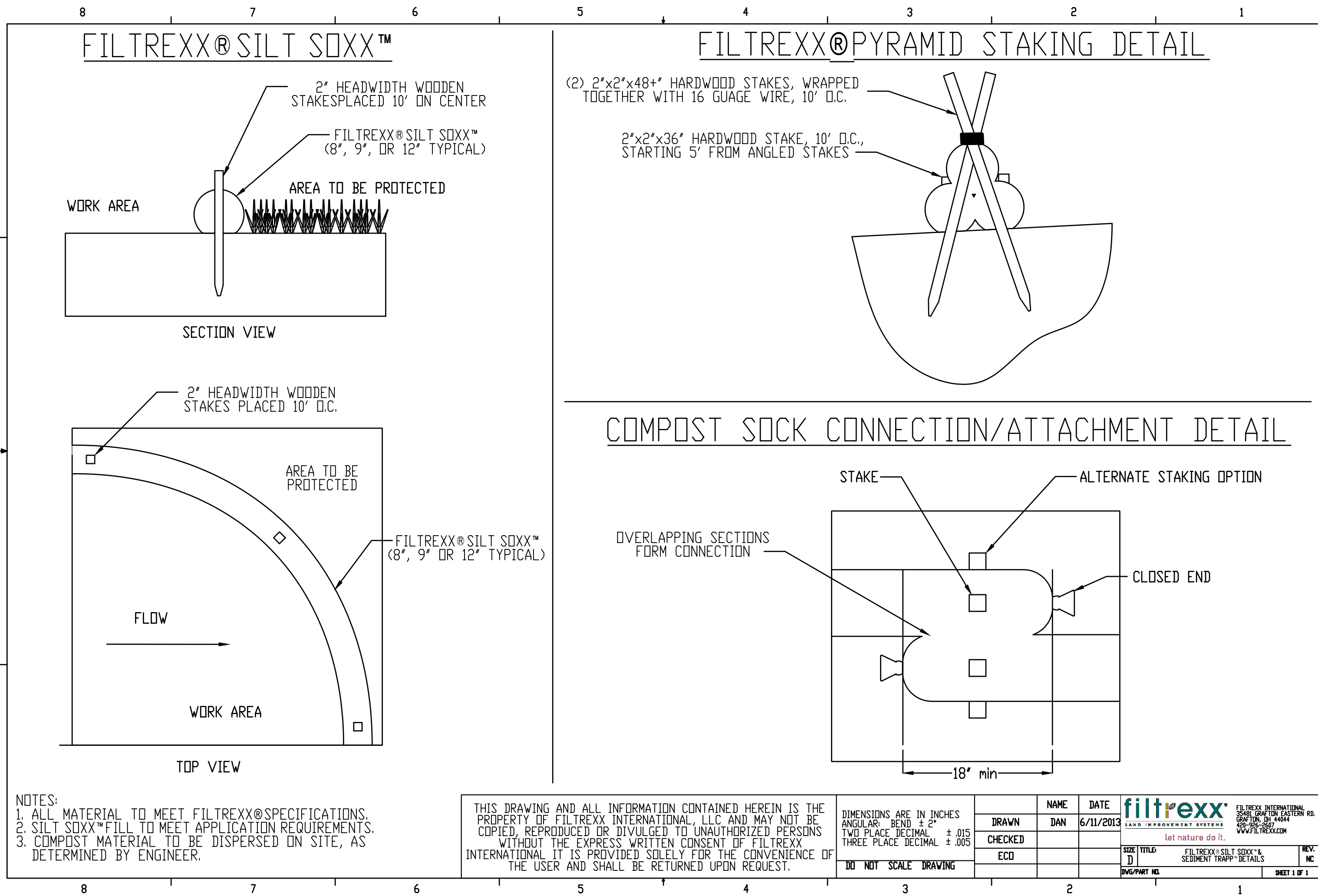
Drawing name: K:\ORA_LDEV\mcdonalds\194015056 -- Buena park (4-5199)\CADD\plansheets\C3.0 -- EROSION CONTROL PLAN.dwg 9 -- EROSION CONTROL DETAILS Oct 23, 2025 12:25pm by: Jenny,Sheng
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- NOTES:
1. ALL MATERIAL TO MEET SPECIFICATIONS.
 2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
 3. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

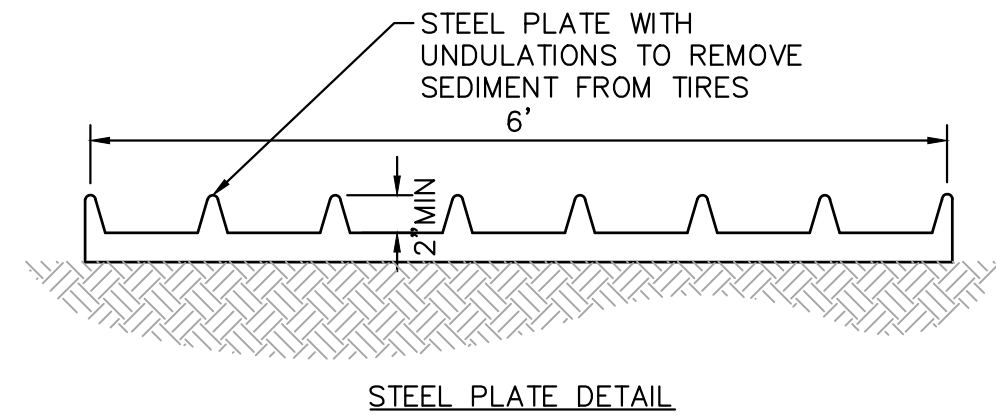
SiltSoxxTM for Sediment Control on Pavement

NTS



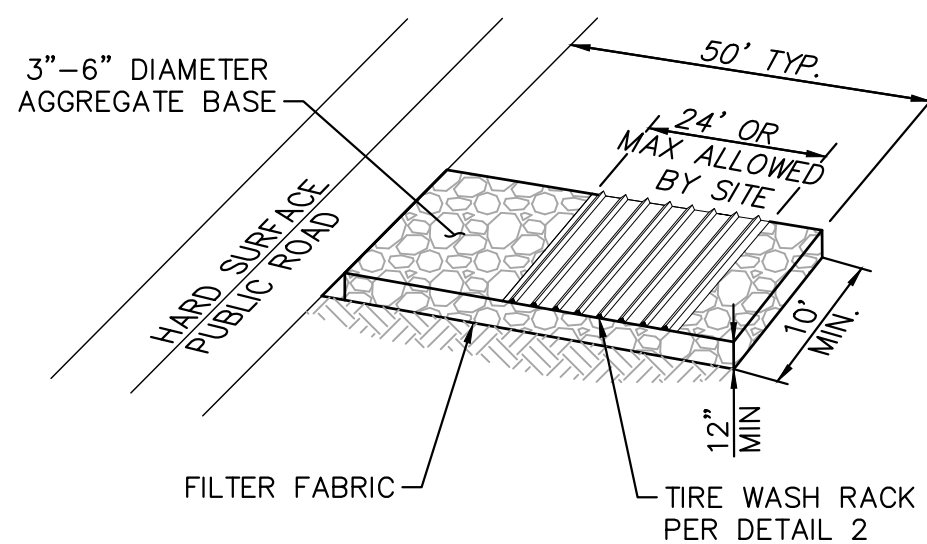
FILTREXX SILT SOXX
N.T.S.

3



TIRE WASH RACK
N.T.S.

2



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION ENTRANCE

1

ENGINEERS SEAL



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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
EROSION CONTROL DETAILS

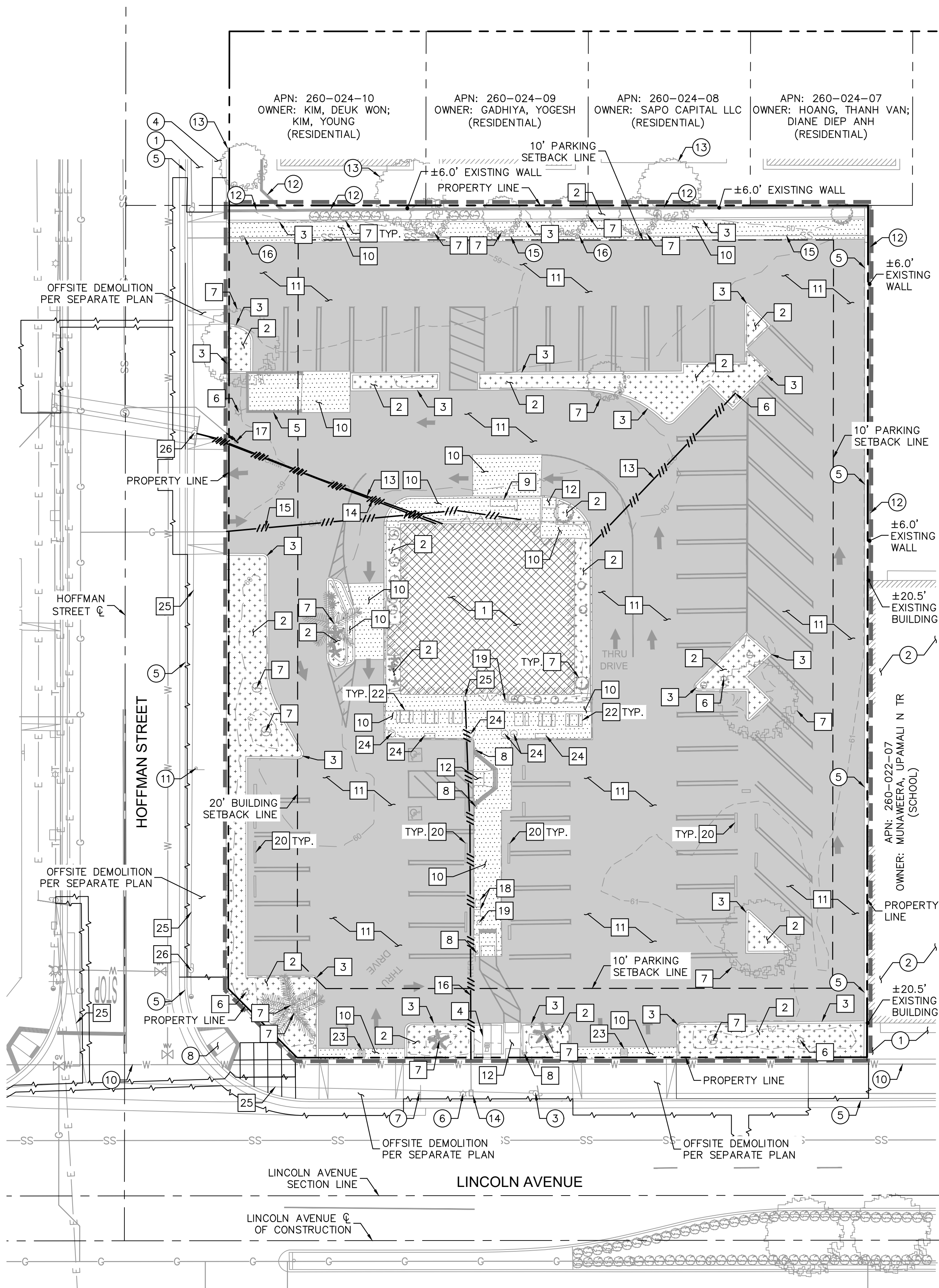
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REFERENCES:

GP-

REV. NO.

SHEET 9 OF 18



LEGEND

	CENTER LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE / SETBACK LINE
	APPROXIMATE DEMOLITION LIMIT LINE ON-SITE
	EXISTING STORM DRAIN LINE
	EXISTING SEWER LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING ELECTRICAL LINE
	EXISTING TELECOMMUNICATION LINE
	EXISTING UTILITY LINE TO BE DEMOLISHED
	SAWCUT LINE
	EXISTING ASPHALT PAVEMENT TO BE REMOVED
	EXISTING CONCRETE PAVEMENT TO BE REMOVED
	EXISTING BUILDING AND BUILDING PAD TO BE REMOVED
	EXISTING LANDSCAPE AREA TO BE REMOVED

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

IRRIGATION NOTE

CONTRACTOR TO CAP EXISTING IRRIGATION SYSTEM AND REMOVE IRRIGATION SYSTEM AS NEEDED FOR NEW CONSTRUCTION. CONTRACTOR TO MAINTAIN THAT NEIGHBORING PROPERTIES' IRRIGATION WILL CONTINUE TO WORK PROPERLY AFTER DEMOLITION OF LINES WITHIN THE CONSTRUCTION AREA.

UTILITY PURVEYORS

WATER
CITY OF BUENA PARK
WATER DIVISION
(714) 562-3721

STORM
CITY OF BUENA PARK
PUBLIC WORKS
(714) 562-3670

PHONE
AT&T
ERNEST ESTACIO
(714) 618-9128

SEWER
CITY OF BUENA PARK
SEWER SERVICES DIVISION
(714) 562-3655

ELECTRIC
SOCAL EDISON
(800) 655-4555

CABLE
CHARTER
AUGUSTIN SANCHEZ
(714) 448-5118

DEMOLITION NOTES

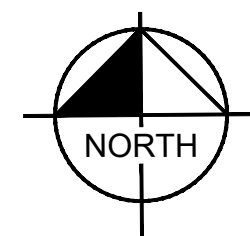
- | | |
|----|---|
| 1 | REMOVE EXISTING BUILDING AND SURROUNDING FEATURES. ALL UTILITIES TO BE CAPPED FOR FUTURE CONNECTION. FOUNDATION REMOVALS PER GEOTECHNICAL REPORT. |
| 2 | REMOVE EXISTING LANDSCAPE AND ALL IRRIGATION LINES, DRIPS, VALVES AND ASSOCIATED EQUIPMENT AS REQUIRED. REFER TO LANDSCAPE PLANS FOR MORE INFORMATION ON LIMITS OF LANDSCAPE REMOVAL. CONTRACTOR TO FIELD CONFIRM IRRIGATION ROUTING AND COORDINATE SHUTDOWNS/REROUTES/RELOCATIONS WITH ADJACENT TENANTS PRIOR TO CONSTRUCTION. |
| 3 | REMOVE EXISTING CURB / CURB & GUTTER. |
| 4 | REMOVE EXISTING PYLON SIGN INCLUDING POST AND FOUNDATION. |
| 5 | REMOVE EXISTING TRASH ENCLOSURE AND SURROUNDING FEATURES. UTILITIES TO BE CAPPED FOR FUTURE CONNECTION. |
| 6 | REMOVE EXISTING LIGHT POLE WITH CONCRETE BASE. CONTRACTOR TO FIELD CONFIRM CONDUIT ROUTING AND COORDINATE SHUTDOWNS/REROUTES/RELOCATIONS WITH ADJACENT TENANTS PRIOR TO CONSTRUCTION. |
| 7 | REMOVE EXISTING TREE AND SHRUB. |
| 8 | REMOVE EXISTING SIGN, INCLUDING POST AND FOUNDATION. |
| 9 | REMOVE EXISTING MENU BOARD, INCLUDING POST AND FOUNDATION. |
| 10 | REMOVE EXISTING CONCRETE PAVEMENT. |
| 11 | REMOVE EXISTING ASPHALT PAVEMENT. |
| 12 | REMOVE EXISTING CURB RAMP WITH TRUNCATED DOMES. |
| 13 | REMOVE EXISTING ELECTRICAL LINE. |
| 14 | REMOVE EXISTING COMMUNICATION LINE. |
| 15 | REMOVE EXISTING GAS LINE. |
| 16 | REMOVE EXISTING WATER LINE. |
| 17 | REMOVE EXISTING CLEANOUT. |
| 18 | REMOVE EXISTING NEWS STAND. |
| 19 | REMOVE EXISTING TRASH CAN. |
| 20 | REMOVE EXISTING WHEELSTOP. |
| 21 | REMOVE EXISTING FENCE. |
| 22 | REMOVE EXISTING TABLE AND BENCH. |
| 23 | REMOVE EXISTING CATCH BASIN. |
| 24 | REMOVE EXISTING PLANTER. |
| 25 | REMOVE EXISTING OVERHEAD TELECOMMUNICATION LINES TO BE UNDERGROUNDED PER SEPARATE PLAN AND PERMIT. |
| 26 | REMOVE EXISTING POWER POLE AND ASSOCIATED LINES. POWER POLE AND LINES TO BE UNDERGROUNDED PER SEPARATE PLAN AND PERMIT. |

PROTECTION NOTES

- ① PROTECT-IN-PLACE EXISTING LANDSCAPE AND ASSOCIATED IRRIGATION.
- ② PROTECT-IN-PLACE EXISTING BUILDING AND FOUNDATION.
- ③ PROTECT-IN-PLACE EXISTING POWER POLE.
- ④ PROTECT-IN-PLACE EXISTING SIDEWALK.
- ⑤ PROTECT-IN-PLACE EXISTING CURB / CURB AND GUTTER.
- ⑥ PROTECT-IN-PLACE EXISTING STREET LIGHT POLE.
- ⑦ PROTECT-IN-PLACE EXISTING OCTA BUS STOP SIGN.
- ⑧ PROTECT-IN-PLACE EXISTING CURB RAMP.
- ⑨ PROTECT-IN-PLACE EXISTING TELECOMMUNICATION LINE.
- ⑩ PROTECT-IN-PLACE EXISTING WATER LINE.
- ⑪ PROTECT-IN-PLACE EXISTING SPEED LIMIT AND NO PARKING SIGN.
- ⑫ PROTECT-IN-PLACE EXISTING WALL.
- ⑬ PROTECT-IN-PLACE EXISTING TREE/PLANT.
- ⑭ PROTECT-IN-PLACE EXISTING WATER METER.
- ⑮ PROTECT-IN-PLACE EXISTING SANITARY SEWER LINE.
- ⑯ PROTECT-IN-PLACE SANITARY SEWER CLEANOUT. ADJUST TOP OF CLEANOUT TO GRADE.

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL CLEAR THE PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL CAP IN PLACE ALL EXISTING UTILITIES AT THE DEMOLITION LIMIT LINE, UNLESS NOTED ON THE PLAN. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITY STRUCTURES, PIPES, CULVERTS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. DEMOLITION AND REMOVAL OF PAVEMENT INCLUDES PAVEMENT THICKNESS AS WELL AS BASE COURSE THICKNESS.
3. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF DEMOLITION WORK.
6. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
7. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
8. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, STORMWATER SEDIMENT BASINS AND STREETS.
9. DUST CONTROL MEASURES SHALL BE IMPLEMENTED DURING DEMOLITION.
10. DEMOLITION IS LIMITED TO WITHIN THE DEMOLITION LIMIT LINE UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM THE SITE AS WORK PROGRESSES.
12. ALL DEMOLITION SHALL COMPLY WITH CHAPTER 24 AND ARTICLE 87 OF THE CALIFORNIA FIRE CODE.
13. CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
14. SEE SHEET 8 FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
15. CONTRACTOR TO INSTALL CHAIN LINK FENCE WITH MESH SCREEN TO PROTECT PUBLIC FROM ENTERING CONSTRUCTION AREA.
16. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF EXISTING FACILITIES.
17. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
18. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE, UNLESS OTHERWISE NOTED. ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. REFER TO THIS PLAN FOR THE LIMITS OF ASPHALT REMOVAL. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
19. THE CONTRACTOR SHALL REFER TO THIS PLAN AND LANDSCAPE PLAN FOR DEMOLITION/PRESERVATION OF EXISTING TREES. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR RELOCATED SHALL BE REMOVED AS A PART OF THIS CONTRACT. TREE PROTECTION BARRIERS SHALL BE INSTALLED AS NECESSARY PRIOR TO ANY DEMOLITION.
20. CONTRACTOR SHALL ADJUST GRADE OF ANY RIMS/COVERS TO THE FINISHED ELEVATIONS OF EXISTING UTILITIES TO REMAIN.
21. REFER TO DEMOLITION NOTES ON SHEET 5.



GRAPHIC SCALE IN FEET

0 10 20 40

1" = 20'

WHEN PRINTED AT FULL SIZE
(24" X 36")

ENGINEERS SEAL



Kimley»»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran DATE: 1
 AMELIA BELTRAN, R.C.E. NO. 87468 EXP. 09



Know what's **below**.
Call before you dig.



401 B STREET, SUITE 600
SAN DIEGO, CA 92101
(602) 705-3864

RANDALL KOPFF, P.L.A. NO. 6633

GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602				
DEMOLITION PLAN				
REVISIONS				CHECKED: AMELIA BELTRAN
NO.	DATE	BY	DESCRIPTION	APP: RECOMMENDED:
				APPROVED:
BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION - 60.4 FEET				

REFERENCES:

GP-

REV
NO

SHEET 10 OF 18



PAVING AND JOINTING NOTES

1. EXPANSION/ISOLATION JOINTS SHALL BE PLACED BETWEEN BUILDING AND CURBS. SEE DETAIL 4, SHEET 16.
2. CONTROL JOINT SPACING SHALL BE PER GEOTECHNICAL REPORT.
3. EXPANSION/ISOLATION JOINTS SHALL BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT (LIGHT POLES, RETAINING WALLS, EXISTING CONCRETE PAVEMENT, BUILDING WALLS, MANHOLES, ETC.) AND SEALED WITH POLYURETHANE SEALANT. SEE DETAIL 4, SHEET 16.
4. SAW-CUT CONTROL JOINTS WITHIN 12 HOURS OF POUR.
5. CONSTRUCTION JOINTS SHALL BE PER DETAIL 3, SHEET 17.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT PERMANENT PAVEMENT IS NOT PLACED UNTIL ALL REQUIRED CONDITIONS AND PREVIOUS FORTIFICATION, UTILITIES, LIGHTING, ETC. HAVE BEEN PROPERLY INSTALLED.
7. DRIVE-THROUGH CONCRETE PAVEMENT REINFORCEMENT, IF REQUIRED, SHALL BE PER GEOTECHNICAL REPORT.

- (1) CONSTRUCT CONCRETE CURB PER DETAIL 3, SHEET 15.
- (2) CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL 5, SHEET 15.
- (3) CONSTRUCT 3.0' WIDE VALLEY GUTTER PER DETAIL 12, SHEET 15.
- (4) CONSTRUCT 18" WALK-OFF CURB PER DETAIL 7, SHEET 15.
- (5) INSTALL DIRECTIONAL MARKING PER PLAN. REFER TO DETAIL 9, SHEET 15 FOR MORE DETAILS.
- (6) INSTALL EV CHARGING STALL STRIPING AND "EV CHARGING ONLY" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL.
- (7) INSTALL E/V CHARGING STATION. REFER TO ELECTRICAL PLANS FOR MORE DETAILS.
- (8) INSTALL SITE LIGHTING. REFER TO ELECTRICAL PLAN FOR MORE DETAILS.
- (9) INSTALL COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS. TRASH ENCLOSURE APPROACH TO BE HEAVY DUTY CONCRETE PAVEMENT PER DETAIL 1, SHEET 15. CONCRETE REINFORCEMENT AND JOIN ASPHALT CONCRETE PER DETAIL 13, SHEET 15.
- (10) STANDARD 90° PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8' SEPARATION. REFER TO DETAIL 6, SHEET 15 FOR MORE DETAILS.
- (11) STANDARD 60° PARKING STALL DOUBLE LINE STRIPING (MINIMUM 4" WIDE). DOUBLE LINE STRIPES MUST HAVE MINIMUM 8' SEPARATION. REFER TO DETAIL 7, SHEET 16 FOR MORE DETAILS.
- (12) INSTALL PREVIEW BOARD. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (13) INSTALL ORDER BOARD. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (14) INSTALL HEIGHT DETECTOR POLE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (15) WHEELSTOPS FOR PARKING SPACES ADJACENT TO WALKWAYS PER DETAIL 8, SHEET 15.
- (16) INSTALL ACCESSIBLE PARKING STALL SIGN PER DETAIL 10, SHEET 15.
- (17) INSTALL ACCESSIBLE PARKING STALL STRIPING PER DETAIL 5, SHEET 17.
- (18) INSTALL ACCESSIBLE PATH OF TRAVEL STRIPING PER DETAIL 14, SHEET 15.
- (19) INSTALL ACCESSIBLE PATH OF TRAVEL SIGN PER DETAIL 7, SHEET 17.
- (20) INSTALL ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES PER DETAIL 1, SHEET 17 AND DETAIL 8, SHEET 16).
- (21) INSTALL 24" X 24" JENSEN PRECAST DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE PER DETAIL 8, SHEET 17.
- (22) CONSTRUCT DRIVEWAY PER CITY OF BUENA PARK STANDARD PLAN NO. 213.
- (23) INSTALL MCDONALD'S SITE SIGNAGE. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (24) CONSTRUCT 0" CONCRETE CURB PER DETAIL 4, SHEET 15.
- (25) PROPOSED TRANSFORMER PER SEPARATE PLAN AND PERMIT.
- (26) MOBILE PICK-UP PARKING STALL SIGN. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (27) MOBILE PICK-UP PARKING STALL STRIPING. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (28) FUTURE INSTALLATION OF EV CHARGING STATION.
- (29) "EV CHARGING ONLY" STALL SIGN. SIGN BASE PER DETAIL 6, SHEET 16.
- (30) "RIGHT TURN ONLY" SIGN PER MUTCD R3-2. SIGN BASE PER DETAIL 6, SHEET 16.
- (31) "DO NOT ENTER" SIGN PER MUTCD R5-1. SIGN BASE PER DETAIL 6, SHEET 16.
- (32) MCDelivery PARKING STALL STRIPING. REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS.
- (33) "DO NOT ENTER" PAVEMENT MARKING WITH BAR STRIPING PER DETAIL 9, SHEET 15.
- (34) "EXIT ONLY" PAVEMENT MARKING PER DETAIL 9, SHEET 15.
- (35) "ONE-WAY" PAVEMENT MARKING PER DETAIL 9, SHEET 15.
- (36) MCDelivery PARKING STALL SIGN. SIGN BASE PER DETAIL 6, SHEET 16.
- (37) INSTALL SHORT TERM BIKE RACK PER DETAIL 8, SHEET 16.
- (38) INSTALL LONG TERM BIKE LOCKER PER DETAIL 5, SHEET 16.
- (39) INSTALL 2' CURB CUT.
- (40) INSTALL WHITE 4" ROUND RAISED PAVEMENT MARKER PER MUTCD 3B.11 AND 3B.14

PROJECT DESCRIPTION: DEMOLITION OF EXISTING PARKING LOT AND BUILDING. NEW CONSTRUCTION OF A MCDONALD'S DRIVE THRU RESTAURANT AND PARKING LOT.

ADDRESS: 6201 LINCOLN AVENUE, BUENA PARK, CA 90602

APN: 260-022-05, 260-022-06

ZONING DISTRICT: CS-COMMUNITY SHOPPING (EXISTING)

ADJACENT ZONING DISTRICTS: N: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL)
S: N/A (CITY OF CYPRESS)
E: RM-10 (LOW DENSITY MULTIFAMILY RESIDENTIAL)
W: CS - (COMMUNITY SHOPPING)

LAND USE: COMMERCIAL

ADJACENT LAND USE: N: RESIDENTIAL
S: N/A (CITY OF CYPRESS)
E: RESIDENTIAL
W: COMMUNITY SHOPPING

GENERAL PLAN DISTRICT: GC - GENERAL COMMERCIAL

FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.

TOTAL DISTURBED AREA: 52,053 S.F. (1.20 AC)
TOTAL PAD AREA: 3,786 S.F. (0.09 AC)
TOTAL LOT AREA: 45,478 S.F. (1.04 AC)

LOT COVERAGE
TOTAL SITE AREA: 45,478 S.F. (1.04 AC) 100%
BUILDING AREA: 3,786 S.F. (0.09 AC) 8.3%
IMPERVIOUS AREA: 33,207 S.F. (0.76 AC) 73.0%
LANDSCAPE AREA: 8,485 S.F. (0.19 AC) 18.7%

BUILDING SETBACK
FRONT (N): 20.0'
FRONT (S): 20.0'
SIDE (E): 10.0'
SIDE (W): 10.0'

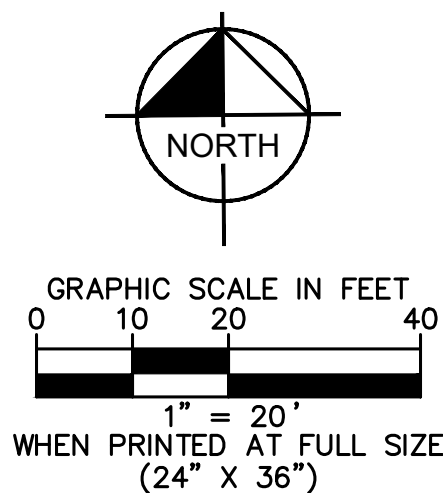
PARKING SUMMARY: 3,786 S.F. (1 STALL/100 S.F.) = 38 STALLS REQUIRED PER CITY CODE

- 3,786 S.F. (BUILDING) = 3,786 S.F. TOTAL
ADA PARKING FOR 26-50 PARKING STALLS = 2 ADA PARKING STALLS REQUIRED, PER 2022 CBC.
- FUTURE EV FOR 26-50 PARKING STALLS = 6 FUTURE EV STALLS AND 2 EVCS STALLS REQUIRED PER 2022 CALGREEN
1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.

TOTAL NUMBER OF PARKING SPACES PROVIDED = 38

<u>PARKING TABLE:</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
STANDARD	27	27
COMPACT (C)	-	-
MOTORCYCLE	-	-
EV CHARGING	2	2
EV READY	6	6 (INCLUDES 1 VAN ACCESSIBLE)
ACCESSIBLE	2	2 (INCLUDES 1 VAN ACCESSIBLE)
TOTAL:	38	38

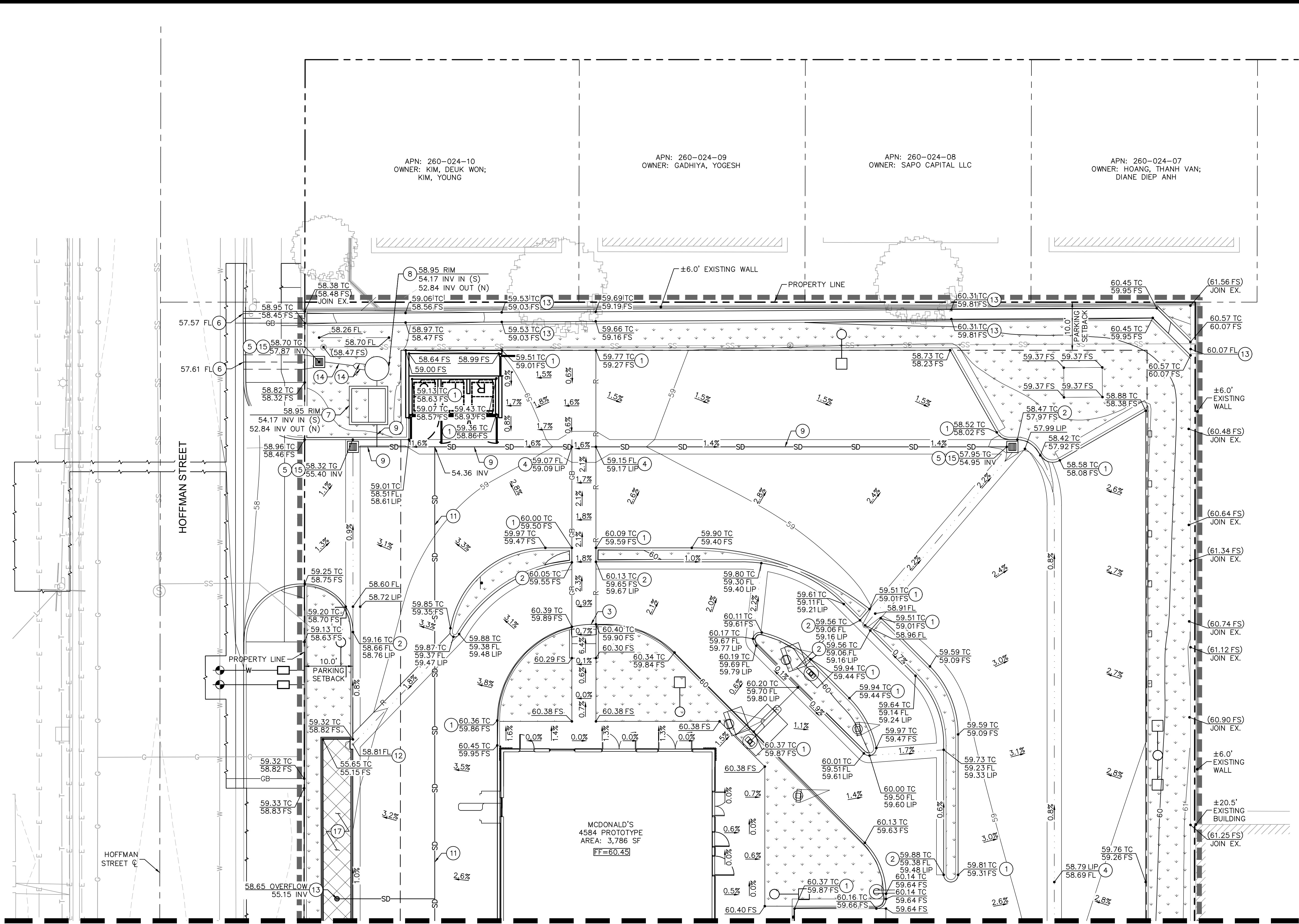
*80 FEET FROM PICK-UP WINDOW TO THE ORDER POINT AND 90 FEET FROM THE ORDER POINT TO THE END OF THE DRIVE-THROUGH LANE HAS BEEN PROVIDED PER THE CITY'S CODE REQUIREMENTS.



GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602						REFERENCES:	
SITE KEYNOTE PLAN							
REVISIONS					CHECKED: AMELIA BELTRAN		REV. NO.
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:		
					APPROVED:		GP-
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION ~ 60.41 FEET		
						SHEET OF 18	

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - GRADING AND DRAINAGE PLAN.dwg 12 - GRADING AND DRAINAGE PLAN Oct 23, 2025 12:29pm by: Jenny/Sheng

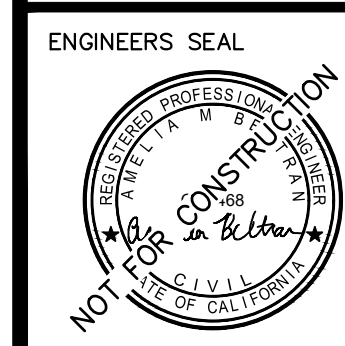
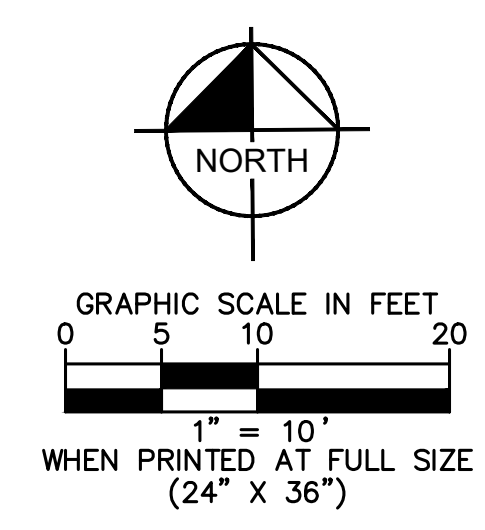
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SEE SHEET 12

LEGEND	
	CENTER LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE / SETBACK LINE
	APPROXIMATE LIMIT OF WORK LINE
	PROPOSED RIDGE LINE
	PROPOSED GRADE BREAK LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED FLOW LINE
	PROPOSED STORM DRAIN LINE
	EXISTING FLOW DIRECTION
	LANDSCAPE AREA
	BIORETENTION AREA

- GRADING AND DRAINAGE NOTES**
1. PROPOSED 6" CURB PER DETAIL 3, SHEET 15.
 2. PROPOSED 6" CURB AND GUTTER PER DETAIL 5, SHEET 15.
 3. PROPOSED 0" CURB PER DETAIL 4, SHEET 15.
 4. PROPOSED 3.0' WIDE CONCRETE VALLEY GUTTER PER DETAIL 12, SHEET 15.
 5. 24" X 24" DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE PER DETAIL 8, SHEET 17.
 6. PROPOSED 3.0' WIDE PARKWAY DRAIN THROUGH CURB FACE PER CITY OF BUENA PARK STANDARD 215.
 7. PROPOSED MODULAR WETLAND SYSTEM PER DETAIL 1, SHEET 18.
 8. PROPOSED SUMP PUMP PER DETAIL 3, SHEET 18.
 9. PROPOSED 12" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
 10. PROPOSED 4" CURB PER DETAIL 3, SHEET 15.
 11. PROPOSED 8" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
 12. PROPOSED 2' CURB CUT.
 13. PROPOSED CONCRETE CHANNEL PER DETAIL 2, SHEET 18.
 14. PROPOSED 3" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
 15. INSTALL "NO DUMPING DRAINS TO OCEAN" STENCIL ON CURB ADJACENT TO CATCH BASIN PER DETAIL 2, SHEET 16.
 16. PROPOSED BIORETENTION A PER DETAIL 3 AND 4, SHEET 17.
 17. PROPOSED BIORETENTION B PER DETAIL 3 AND 4, SHEET 17.



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
AMELIA BELTRAN, R.C.E. NO. 87468 DATE: 10/23/2025
EXP. 09/30/2027

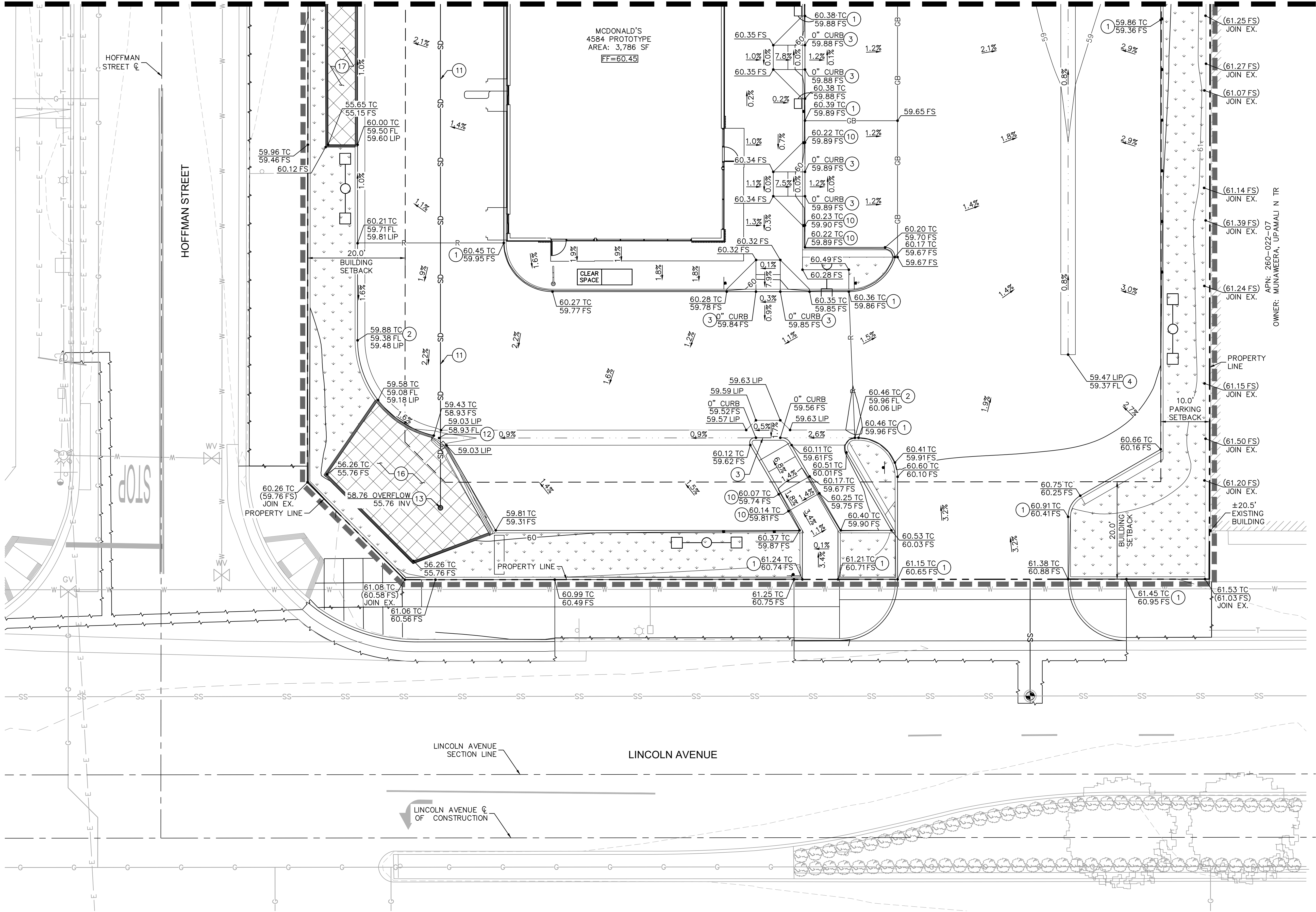


GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602					REFERENCES:	
GRADING AND DRAINAGE PLAN					GP-	REV. NO.
REVISIONS						
NO.	DATE	BY	DESCRIPTION	APP.	RECOMMENDED:	
					APPROVED:	
					BENCHMARK: BASED ON NAVD 1988 DATUM, AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET	
					SHEET 12 OF 18	

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 — buena park (4-5199)\CADD\plansheets\06.0 — GRADING AND DRAINAGE PLAN.dwg Oct 23, 2025 12:29pm by: Jenny/Sheng

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SEE SHEET 11

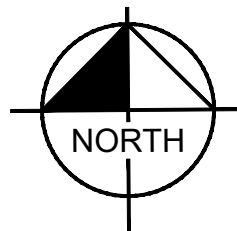


LEGEND

	CENTER LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE / SETBACK LINE
	APPROXIMATE LIMIT OF WORK LINE
	PROPOSED RIDGE LINE
	PROPOSED GRADE BREAK LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED FLOW LINE
	PROPOSED STORM DRAIN LINE
	EXISTING FLOW DIRECTION
	LANDSCAPE AREA
	BIORETENTION AREA

GRADING AND DRAINAGE NOTES

- PROPOSED 6" CURB PER DETAIL 3, SHEET 15.
- PROPOSED 6" CURB AND GUTTER PER DETAIL 5, SHEET 15.
- PROPOSED 0" CURB PER DETAIL 4, SHEET 15.
- PROPOSED 3.0' WIDE CONCRETE VALLEY GUTTER PER DETAIL 12, SHEET 15.
- 24" X 24" DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE PER DETAIL 8, SHEET 17.
- PROPOSED 3.0' WIDE PARKWAY DRAIN THROUGH CURB FACE PER CITY OF BUENA PARK STANDARD 215.
- PROPOSED MODULAR WETLAND SYSTEM PER DETAIL 1, SHEET 18.
- PROPOSED SUMP PUMP PER DETAIL 3, SHEET 18.
- PROPOSED 12" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- PROPOSED 4" CURB PER DETAIL 3, SHEET 15.
- PROPOSED 8" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- PROPOSED 2' CURB CUT.
- PROPOSED CONCRETE CHANNEL PER DETAIL 2, SHEET 18.
- PROPOSED 3" SDR-26 PVC STORM DRAIN PIPE AT 0.5% MIN. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- INSTALL "NO DUMPING DRAINS TO OCEAN" STENCIL ON CURB ADJACENT TO CATCH BASIN PER DETAIL 2, SHEET 16.
- PROPOSED BIORETENTION A PER DETAIL 3 AND 4, SHEET 17.
- PROPOSED BIORETENTION B PER DETAIL 3 AND 4, SHEET 17.



GRAPHIC SCALE IN FEET
0 5 10 20
1" = 10'
WHEN PRINTED AT FULL SIZE
(24" X 36")

ENGINEERS SEAL



Kimley»Horn

180 EAST OCEAN BLVD, SUITE 1200
LONG BEACH, CA 90802
(562) 549-2200

PREPARED UNDER THE DIRECT SUPERVISION OF:
Amelia Beltran
AMELIA BELTRAN, R.C.E. NO. 87468
DATE: 10/23/2025
EXP. 09/30/2027



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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
GRADING AND DRAINAGE PLAN

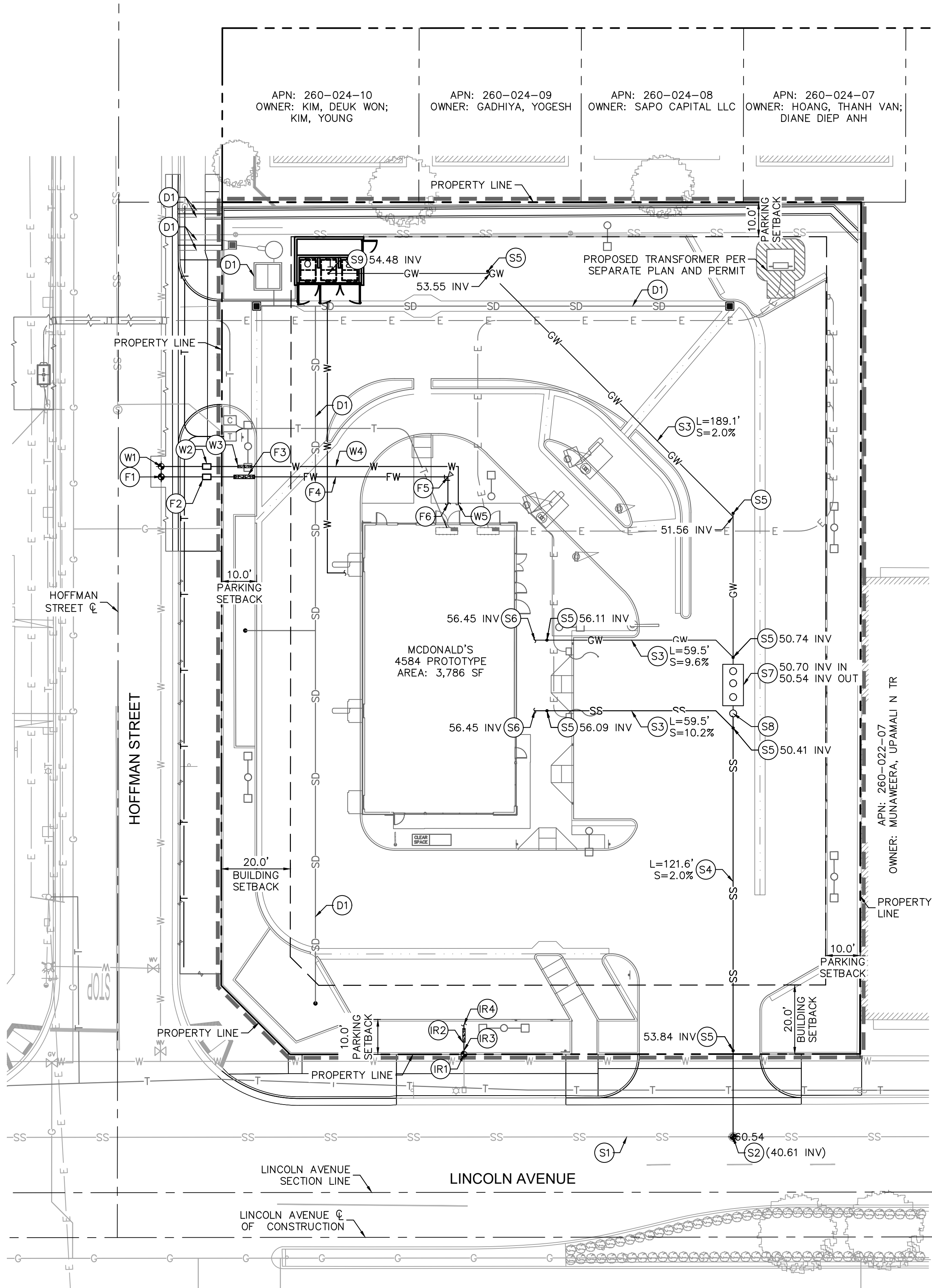
REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:
					APPROVED:
					BENCHMARK: BASED ON NAVD 1988 DATUM. AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET

REFERENCES:

GP-	REV. NO.
SHEET 13 OF 18	

Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plansheets\C7.0 - UTILITY PLAN.dwg 14 - UTILITY PLAN Oct 23, 2025 12:28pm by: JennySheng

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LEGEND

— — — — —	CENTER LINE
— — — — —	PROPERTY LINE
— — — — —	RIGHT-OF-WAY LINE
— — — — —	EASEMENT LINE / SETBACK LINE
— — — — —	APPROXIMATE LIMIT OF WORK LINE
— — — — —	PROPOSED FLOW LINE
— — — — —	EXISTING WATER LINE
— — — — —	EXISTING SANITARY SEWER LINE
— — — — —	EXISTING GAS LINE
— — — — —	EXISTING UNDERGROUND ELECTRICAL LINE
— — — — —	EXISTING UNDERGROUND TELECOMMUNICATIONS LINE
— — — — —	EXISTING STORM DRAIN LINE
— — — — —	PROPOSED WATER LINE
— — — — —	PROPOSED FIRE WATER LINE
— — — — —	PROPOSED SANITARY SEWER LINE
— — — — —	PROPOSED STORM DRAIN LINE

GENERAL NOTES

1. THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. A TOPOGRAPHICAL AND UNDERGROUND SURVEY WILL BE REQUIRED TO DETERMINE THE FINAL LOCATION OF ALL EXISTING AND PROPOSED UTILITY ROUTINGS.
2. COORDINATION WITH UTILITY PURVEYORS WILL BE REQUIRED TO DETERMINE FINAL LOCATION OF ALL PROPOSED CONNECTIONS TO PUBLIC MAIN LINES.
3. ALL DRY AND WET UTILITY CROSSING SHALL HAVE MIN. 12" VERTICAL CLEARANCE.

DOMESTIC WATER CONSTRUCTION NOTES

- (W1) CONNECT TO EXISTING WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 524.
- (W2) INSTALL 2" DOMESTIC WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 517.
- (W3) INSTALL 2" AMES DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF BUENA PARK STD. DWG. NO. 537.
- (W4) INSTALL 2" PVC SCH. 80 DOMESTIC WATER LINE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (W5) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).

IRRIGATION WATER CONSTRUCTION NOTES

- (IR1) CONNECT TO EXISTING WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 517.
- (IR2) INSTALL 1" AMES DOMESTIC WATER BACKFLOW PREVENTER PER CITY OF BUENA PARK STD. DWG. NO. 537.
- (IR3) INSTALL 1" PVC SCH. 80 DOMESTIC WATER LINE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (IR4) IRRIGATION POINT OF CONNECTION. REFER TO LANDSCAPE AND IRRIGATION PLANS FOR CONTINUATION.

SANITARY SEWER CONSTRUCTION NOTES

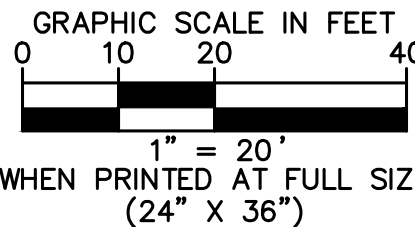
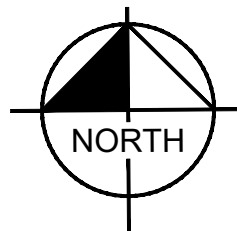
- (S1) EXISTING SEWER MAIN TO REMAIN.
- (S2) CONNECT TO EXISTING SEWER MANHOLE PER CITY OF BUENA PARK STD. DWG. NO. 507. CONTRACTOR TO POTHOLE AND VERIFY LOCATION AND INVERT OF EXISTING MAIN PRIOR TO TRENCHING AND SEWER INSTALLATION. IF DISCREPANCIES ARE FOUND, NOTIFY ENGINEER FOR FURTHER DIRECTION. CONTRACTOR TO SCOPE EXISTING LINE TO VERIFY CONDITION PRIOR TO TRENCHING AND SEWER INSTALLATION.
- (S3) INSTALL 4" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (S4) INSTALL 6" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE. PIPE BEDDING AND TRENCHING PER DETAIL 1, SHEET 16.
- (S5) INSTALL SEWER CLEANOUT PER CITY OF BUENA PARK STD. DWG. NO. 511.
- (S6) BUILDING POINT OF CONNECTION.
- (S7) INSTALL JENSEN PRECAST 1500 GAL. GREASE INTERCEPTOR. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
- (S8) INSTALL JENSEN PRECAST SAMPLE BOX. REFER TO PLUMBING PLANS FOR MORE INFORMATION.
- (S9) INSTALL 4" NDS AREA DRAIN IN TRASH ENCLOSURE PER DETAIL 6, SHEET 17.

STORM DRAIN CONSTRUCTION NOTES

- (D1) REFER TO GRADING PLAN FOR MORE INFORMATION ON PROPOSED SITE STORM DRAIN IMPROVEMENTS.

FIRE WATER CONSTRUCTION NOTES

- (F1) CONNECT TO EXISTING WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 524.
- (F2) INSTALL 4" FIRE WATER METER PER CITY OF BUENA PARK STD. DWG. NO. 528.
- (F3) INSTALL 4" AMES DOUBLE DETECTOR CHECK ASSEMBLY PER CITY OF BUENA PARK STD. DWG. NO. 528A & 528B.
- (F4) INSTALL 4" PVC C-900 CLASS 150 FIRE WATER LINE PER CITY OF BUENA PARK STD. DWG. NO. 528A & 528B.
- (F5) INSTALL 4" PVC C-900 CLASS 150 BEND WITH THRUST BLOCK PER DETAIL 4, SHEET 16.
- (F6) BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).



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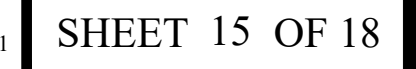
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GRADING PLAN FOR MCDONALD'S 6201 LINCOLN AVENUE, BUENA PARK, CA 90602
UTILITY PLAN

REVISIONS				CHECKED: AMELIA BELTRAN	
NO.	DATE	BY	DESCRIPTION	APP:	RECOMMENDED:
				APPROVED:	
				BENCHMARK: BASED ON NAVD 1988 DATUM. AND IS A SET MAG NAIL AND SHINER LOCATED NEAR THE SOUTHWEST CORNER OF PARCEL 1. ELEVATION = 60.41 FEET	

REFERENCES:

GP-	REV. NO.
SHEET 14 OF 18	



Drawing name: K:\ORA_LDEV\mcdonalds\194015056 - buena park (4-5199)\CADD\plansheets\08.0 - CONSTRUCTION DETAILS.dwg 17 - CONSTRUCTION DETAILS Oct 23, 2025 12:30pm by: JennySheng

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DROP INLET			
MODEL NO.	A	B	*WEIGHT
DI242436	36"	42"	1900 LBS.
DI242448	48"	54"	2500 LBS.

*BOX ONLY

FRAME AND GRATE			
MODEL NO.	RATING	D	WEIGHT
SG2424-DIP	PEDESTRIAN	1 1/2"	41 LBS.
SG2424-DIT	TRAFFIC	3"	120 LBS.

EXTENSION		
MODEL NO.	C	WEIGHT
RS242406	6"	300 LBS.
RS242412	12"	600 LBS.

■ FRAME AND GRATE ASSEMBLY AVAILABLE IN TRAFFIC OR PEDESTRIAN MODELS.

■ DESIGN FOR H-20-44 BRIDGE LOADING.

■ ASSEMBLY TO BE PLACED ON A 6" BASE OF CRUSHER RUN FOR EASE OF INSTALLATION AND EVEN LOAD DISTRIBUTION.

■ FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

■ ILLUSTRATION IS TYPICAL ONLY OF GENERAL SERIES CONFIGURATION; FOR SPECIFIC CONFIGURATION, CALL JENSEN PRECAST.

24" X 24" DRAIN INLET		
ONLY DATE: 11-28-00	REV DATE:	
DI2424		

8.01

24" X 24" DRAIN INLET
N.T.S.

8

NDS AREA DRAIN
N.T.S.

6

ACCESSIBLE PARKING STALL STRIPING
N.T.S.

5

ISOLATION JOINT @ STRUCTURE
N.T.S.

2

BIORETENTION AREA WITHOUT UNDERDRAIN DETAIL
N.T.S.

4

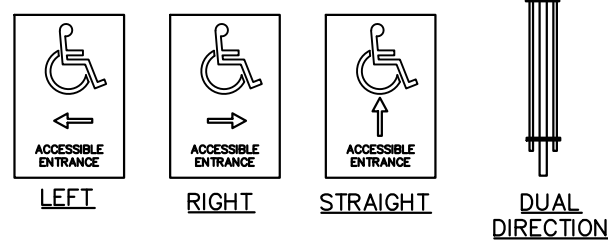
NOTES:

- ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT.
- CURB RAMPS SHALL HAVE A DETECTABLE WARNING EXTENDING THE FULL WIDTH OF THE CURB RAMP AND 3' DEEP. GROOVED SURFACES ON OUTDOOR CURB RAMPS ARE NOT PERMITTED. VERIFY LOCAL REQUIREMENTS WITH THE BUILDING DEPARTMENT. REFER TO TRUNCATED DOMES DETAIL AND REQUIREMENTS IN THE CALIFORNIA BUILDING CODE.
- PARALLEL CURB RAMPS SHALL HAVE A DETECTABLE WARNING EXTENDING 36" DEEP ALONG THE FLUSH TRANSITION BETWEEN STREET AND SIDEWALK. REFER TO TRUNCATED DOMES DETAIL.
- PUBLIC SIDEWALK CURB RAMPS CONSTRUCTED WITHIN A PUBLIC RIGHT-OF-WAY, IN ABSENCE OF LOCAL ROADWAY GUIDELINES, SHALL MEET OR EXCEED LOCAL REGULATIONS.
- CURB RAMP SURFACES (FLARES AND RAMP) SHALL HAVE A DIFFERENT TEXTURE FROM THE SURROUNDING PAVEMENT.
- CURB RAMPS SHALL BE CONCRETE WITH STRENGTH OF 2500 PSI.
- INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
- WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
- NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
- CROSS SLOPE OF THE CURB RAMP SURFACE SHALL BE LESS THAN 2%.
- TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/2" WITHIN AN ACCESSIBLE ROUTE.

ACCESSIBLE RAMP DETAILS
N.T.S.

1

NOTE:
ALL ADA SIGNAGE TO BE FURNISHED AND INSTALLED BY SIGNAGE VENDOR.



USE APPROPRIATE ARROWS TO INDICATE ACCESSIBLE PATH OF TRAVEL. PATH OF TRAVEL IF THE SIGN PROJECTS INTO PATH OF TRAVEL, THE SIGN SHALL BE MOUNTED W/ BOTTOM EDGE AT 80" MIN ABOVE THE GROUND SURFACE. SIGN BASE PER DETAIL 6, SHEET 15 HEREON.

NOTE: WHITE (REFLECTORIZED) SYMBOLS & BLUE BACKGROUND

NOTE: SIGNS SHALL BE MOUNTED SO THEY DO NOT PROJECT PATH OF TRAVEL. IF THE SIGN PROJECTS INTO PATH OF TRAVEL, THE SIGN SHALL BE MOUNTED W/ BOTTOM EDGE AT 80" MIN ABOVE THE GROUND SURFACE. SIGN BASE PER DETAIL 6, SHEET 15 HEREON.

FOR REFERENCE ONLY, APPROVE ALL ALTERATIONS W/ LOCAL BUILDING AGENCY.

NOTES:

- SIGNS SHALL MOUNTED ON A POST PER DETAIL 6, SHEET 15.

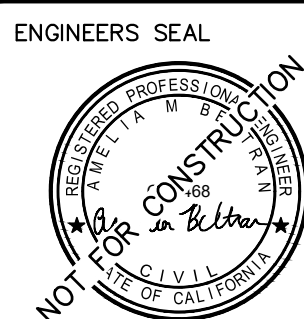
ACCESSIBLE PATH OF TRAVEL SIGN
N.T.S.

7

BIORETENTION WALL DIMENSIONS							
IDENTIFICATION	MAX RETAINED HEIGHT (H)	STEM THICKNESS (S)	FOOTING THICKNESS (F)	FOOTING WIDTH (W)	TOE LENGTH (T)	KEY DEPTH (KD)	KEY WIDTH (KW)
BIORETENTION A	4'-0"	8"	1'-3"	4'-0"	0'-9"	1'-0"	1'-0"
BIORETENTION B	5'-6"	10"	1'-3"	5'-3"	1'-3"	1'-4"	1'-0"

STRUCTURAL BIORETENTION RETAINING WALLS
N.T.S.

3



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CONSTRUCTION DETAILS

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SHEET 17 OF 18	

