

KTGY Project No: 20220491

Project Contact: Roy Aguirre  
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Principal: Wil Wong  
Project Designer: Keith Labus

## Developer

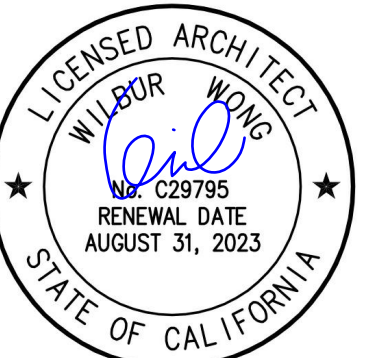
CENTRAL POINTE PHASE I  
DEVELOPMENT PARTNERS LP  
560 W. BAKER ST., BUILDING C,  
SUITE 101  
COSTA MESA, CA 92626  
PHONE NO. 949.255.0416

# CENTRAL POINTE - BUILDING A

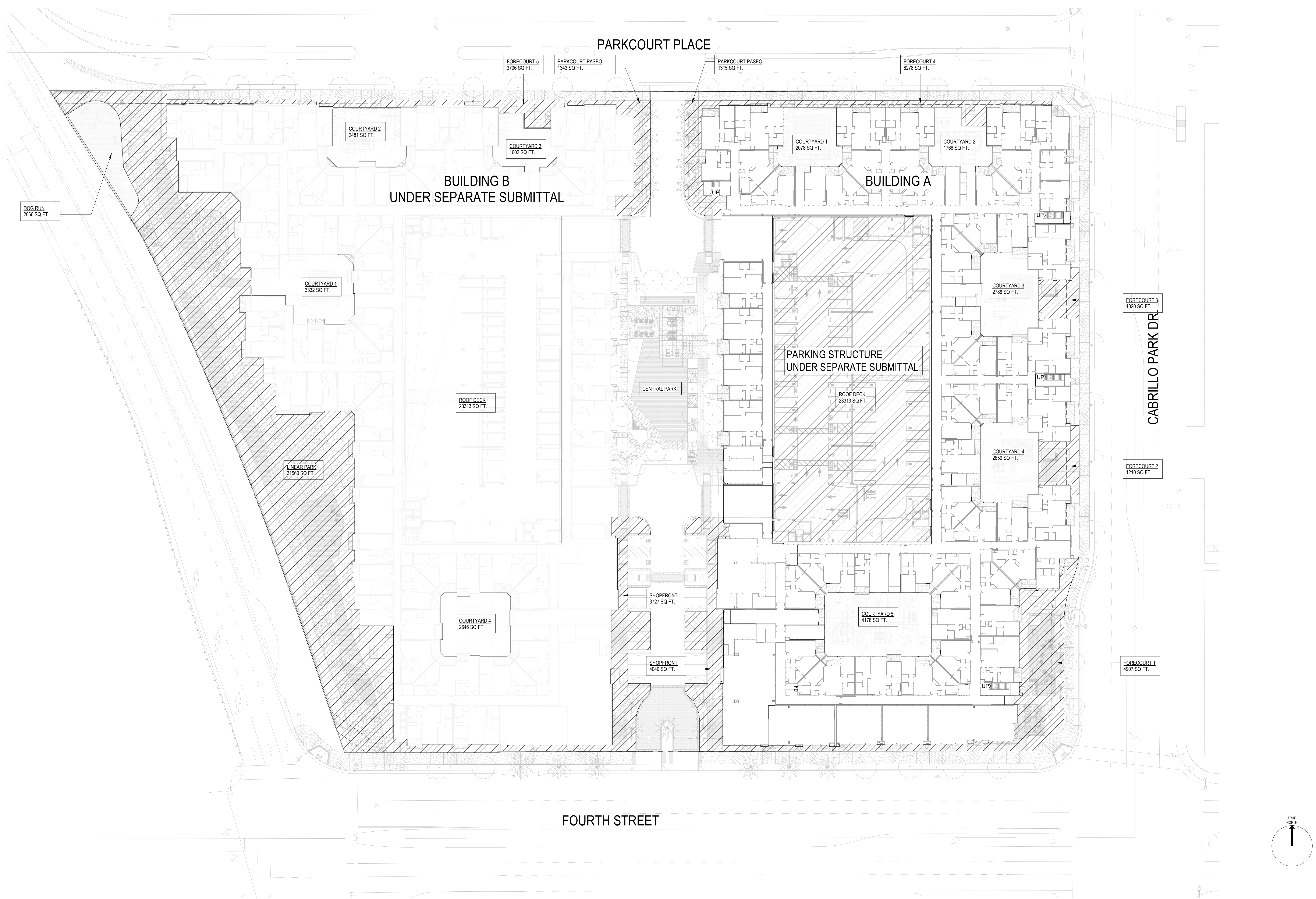
1851 E 41H SI, SANTA ANA, CA

**Sheet Issue & Revision Log**  
Sheet Date 04/18/2023

It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients/subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

OPEN SPACE  
EXHIBIT

A0-12



<b>OPEN SPACE EXHIBIT</b>	$1/32" = 1'-0"$	
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<u>PUBLICLY ACCESSIBLE OPEN SPACE (PAOS)</u>	PAOS	AREA (SF)
GROSS SITE AREA: ± 8.35 ACRES	SHOPFRONT	
NET SITE AREA: ± 8.03 ACRES	BUILDING A	4040
	BUILDING B	3727
<b>REQUIREMENT: 52,468 SF</b>	PARKCOURT	
(15% OF NET SITE AREA)	BUILDING A	1315
	BUILDING B	1498
	FORECOURT 1	4907
	FORECOURT 2	1210
	FORECOURT 3	1020
	FORECOURT 4	6278
	FORECOURT 5	3706
	LINEAR PARK	31560
	<b>TOTAL PAOS</b>	<b>±59,261</b>

NOTE: CENTRAL PARK NOT COUNTED  
TOWARD REQUIRED PAOS

## OPEN SPACE AREA CALCULATION

OPEN SPACE	BUILDING "A" AREA (SF)	BUILDING "B" AREA (SF)
PRIVATE OPEN SPCE	27,210 (± 84 SF PER DU)	2,4692 (± 77 SF PER DU)
COURTYARD 1	2,078	3,332
COURTYARD 2	1,768	2,481
COURTYARD 3	2,788	1,602
COURTYARD 4	2,659	2,646
COURTYARD 5	4,178	-
DOG RUN	-	2,066
ROOF DECK	23,313	23,313
<b>TOTAL</b>	<b>63,994</b>	<b>60,132</b>

**TOTAL PRIVATE COMMON OPEN SPACE PROVIDED:**  
63,994 SF + 60,132 SF = 124,126 SF

**NOTE: BUILDING "B" AND PARKING STRUCTURE (ROOF DECK) ARE UNDER SEPARATE PERMITS.**

--- PROPERTY LINE

PRIVATE COURTYARD

PUBLIC FORECOURT

## OPEN SPACE LEGEND





**Architecture + Planning**  
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Irvine, CA 92614  
ktgy.com  
949.851.2133

**KTGY Project No:** 20220491

**Project Contact:** Noel Nguyen  
**Email:** nnguyen@ktgy.com  
**Principal:** Wil Wong  
**Project Designer:** Keith Labus

**Developer**  
CENTRAL POINTE PHASE II  
DEVELOPMENT PARTNERS LP  
660 W. BAKER ST., BUILDING C,  
SUITE 101  
COSTA MESA, CA 92626  
PHONE NO. 949.255.0416

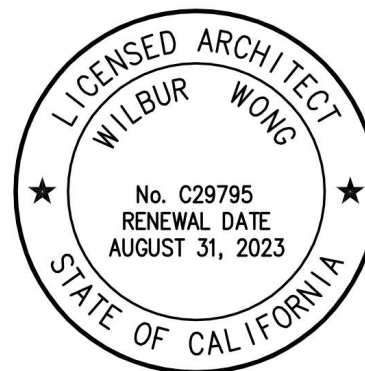
# CENTRAL POINTE - BUILDING B

1751 E 4TH ST., SANTA ANA, CA

**Sheet Issue & Revision Log**  
Sheet Date 12/14/2022

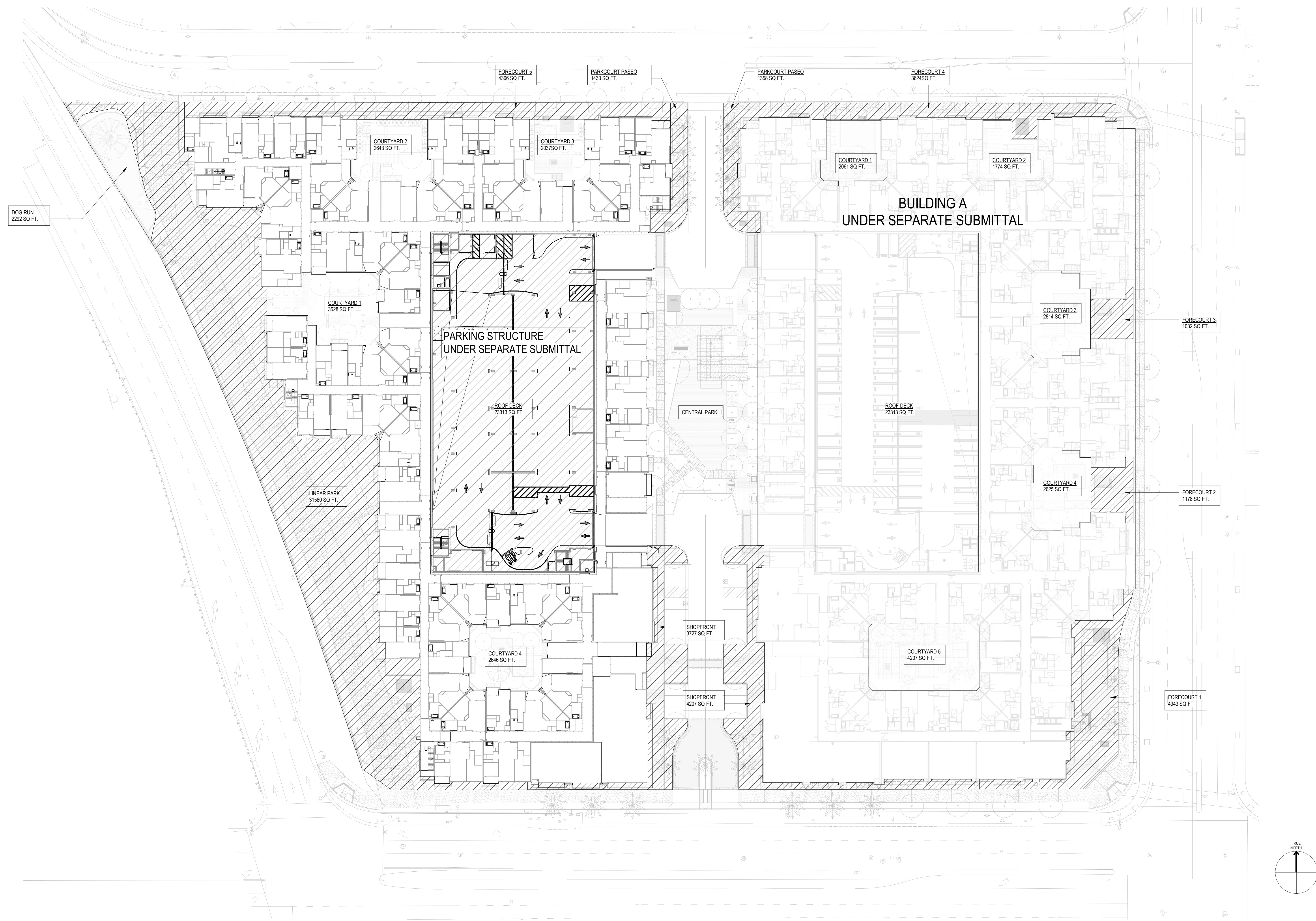
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It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and quantities of which a contractor thoroughly knowledgeable with the building code and methods of construction should reasonably be aware. Written notices addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractor proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



**OPEN SPACE EXHIBIT**

A0-12



**OPEN SPACE EXHIBIT** 1/32" = 1'-0" 1

PUBLICLY ACCESSIBLE OPEN SPACE (PAOS)	PAOS	AREA (SF)
GROSS SITE AREA: ± 8.35 ACRES	SHOPFRONT	
NET SITE AREA: ± 8.03 ACRES	BUILDING A	4196
	BUILDING B	3727
	PARKCOURT	
	BUILDING A	1421
	BUILDING B	1498
	FORECOURT 1	4943
	FORECOURT 2	1178
	FORECOURT 3	1032
	FORECOURT 4	3624
	FORECOURT 5	4366
	LINEAR PARK	31560
	<b>TOTAL PAOS</b>	<b>±57,545</b>

NOTE: CENTRAL PARK NOT COUNTED TOWARD REQUIRED PAOS

**OPEN SPACE AREA CALCULATION**

PRIVATE COMMON OPEN SPACE
TOTAL REQUIREMENT:
• REQUIREMENT #1: 57,960 SF
90 SF PER UNIT (644 UNITS)
• REQUIREMENT #2: 18,188 SF
5% OF TOTAL SITE AREA FOR NON RESIDENTIAL USES
<b>TOTAL REQ'D: 76,148 SF</b>

OPEN SPACE	BUILDING "A" AREA (SF)	BUILDING "B" AREA (SF)
PRIVATE OPEN SPACE	27,439 (± 84 SF PER DU)	2,4692 (± 77 SF PER DU)
COURTYARD 1	2,061	3,528
COURTYARD 2	1,774	2,643
COURTYARD 3	2,814	2,037
COURTYARD 4	2,625	2,646
COURTYARD 5	4,207	-
DOG RUN	-	2,292
ROOF DECK	23,313	23,313
<b>TOTAL</b>	<b>64,233</b>	<b>61,151</b>

**TOTAL PRIVATE COMMON OPEN SPACE PROVIDED:**  
64,233 SF +61,151 SF = 125,384 SF

**NOTE:** BUILDING "A" AND PARKING STRUCTURE (ROOF DECK) ARE UNDER SEPARATE PERMIT.

---	PROPERTY LINE
	PRIVATE COURTYARD
	PUBLIC FORECOURT

**OPEN SPACE LEGEND**