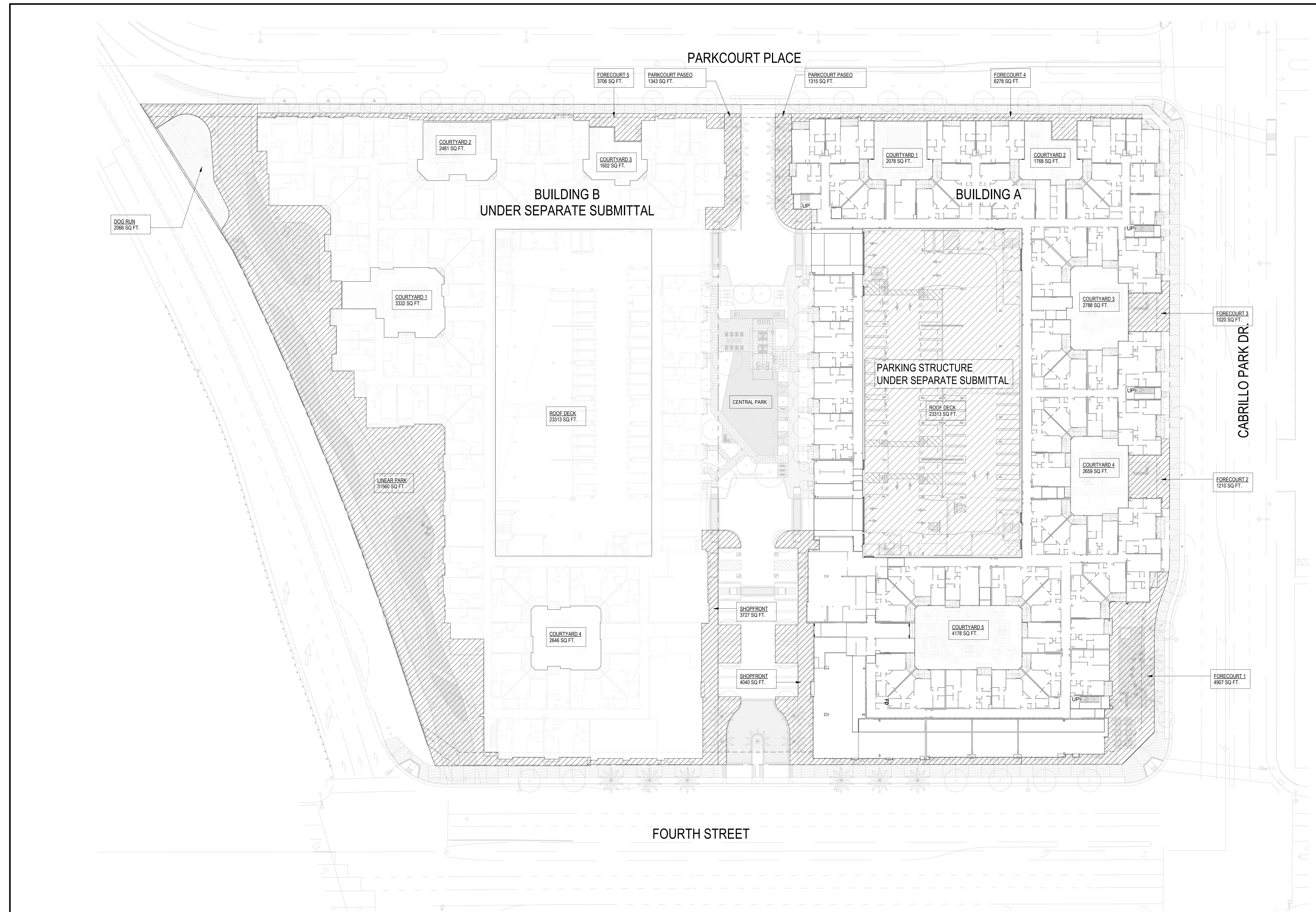
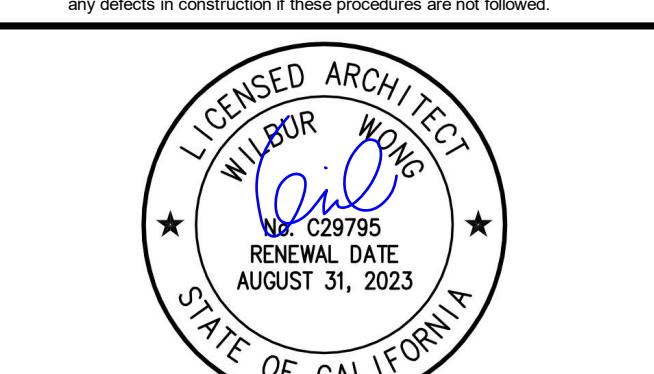


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PUBLICLY ACCESSIBLE OPEN SPACE (PAOS)		
GROSS SITE AREA: ± 8.35 ACRES		
NET SITE AREA: ± 8.03 ACRES		
REQUIREMENT: 52,468 SF (15% OF NET SITE AREA)		
PAOS	AREA (SF)	PRIVATE COMMON OPEN SPACE
SHOPFRONT		TOTAL REQUIREMENT:
BUILDING A	4040	• REQUIREMENT #1: 57,960 SF
BUILDING B	3727	90 SF PER UNIT (644 UNITS)
PARKCOURT		• REQUIREMENT #2: 18,188 SF
BUILDING A	1315	5% OF TOTAL SITE AREA FOR NON RESIDENTIAL USES
BUILDING B	1498	
FORECOURT 1	4907	TOTAL REQ'D: 76,148 SF
FORECOURT 2	1210	
FORECOURT 3	1020	
FORECOURT 4	6278	
FORECOURT 5	3706	
LINEAR PARK	31560	
TOTAL PAOS	±59,261	

NOTE: CENTRAL PARK NOT COUNTED
TOWARD REQUIRED PAOS

OPEN SPACE	BUILDING "A" AREA (SF)	BUILDING "B" AREA (SF)
PRIVATE OPEN SPCE	27,210 (± 84 SF PER DU)	2,4692 (± 77 SF PER DU)
COURTYARD 1	2,078	3,332
COURTYARD 2	1,768	2,481
COURTYARD 3	2,788	1,602
COURTYARD 4	2,659	2,646
COURTYARD 5	4,178	-
DOG RUN	-	2,066
ROOF DECK	23,313	23,313
TOTAL	63,994	60,132

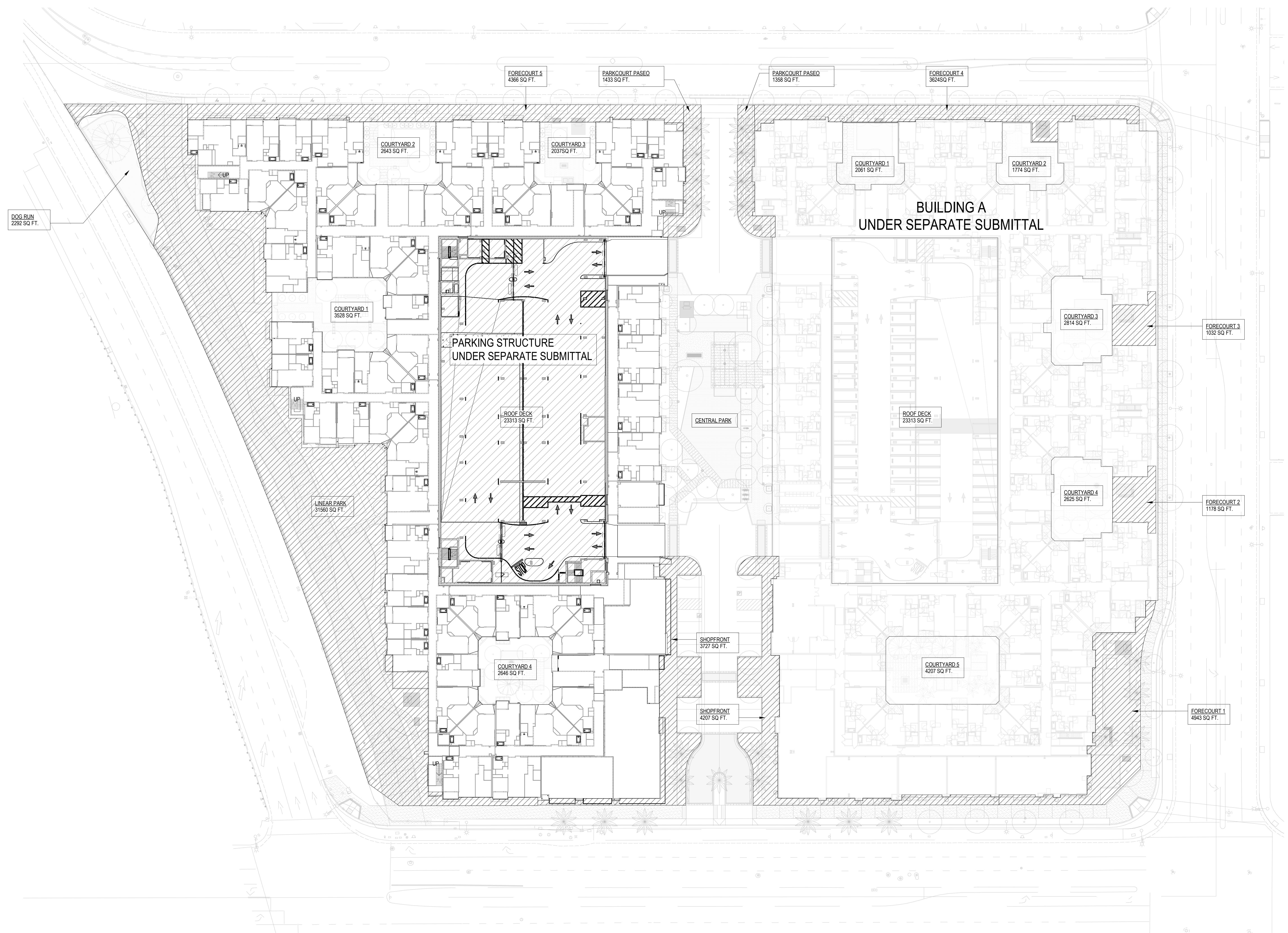
TOTAL PRIVATE COMMON OPEN SPACE PROVIDED:
63,994 SF + 60,132 SF = 124,126 SF

NOTE: BUILDING "B" AND PARKING STRUCTURE (ROOF DECK) ARE UNDER SEPARATE PERMITS.

OPEN SPACE EXHIBIT	1
PROPERTY LINE	— — —
PRIVATE COURTYARD	
PUBLIC FORECOURT	

CENTRAL POINTE - BUILDING B

1751 E 4TH ST, SANTA ANA, CA



OPEN SPACE EXHIBIT 1/32" = 1'-0"

PUBLICLY ACCESSIBLE OPEN SPACE (PAOS)				PRIVATE COMMON OPEN SPACE			OPEN SPACE			BUILDING "A" AREA (SF)			BUILDING "B" AREA (SF)		
GROSS SITE AREA: ± 8.35 ACRES				TOTAL REQUIREMENT:			PRIVATE OPEN SPACE			27,439 (± 84 SF PER DU)			2,4692 (± 77 SF PER DU)		
NET SITE AREA: ± 8.03 ACRES				• REQUIREMENT #1: 57,960 SF			COURTYARD 1			2,061			3,528		
REQUIREMENT: 52,468 SF (15% OF NET SITE AREA)				90 SF PER UNIT (644 UNITS)			COURTYARD 2			1,774			2,643		
				• REQUIREMENT #2: 18,188 SF			COURTYARD 3			2,814			2,037		
				5% OF TOTAL SITE AREA FOR NON RESIDENTIAL USES			COURTYARD 4			2,625			2,646		
				TOTAL REQ'D: 76,148 SF			COURTYARD 5			4,207			-		
							DOG RUN			-			2,292		
							ROOF DECK			23,313			23,313		
							TOTAL			64,233			61,151		

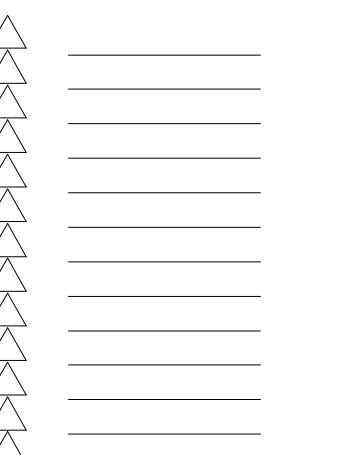
TOTAL PRIVATE COMMON OPEN SPACE PROVIDED:
64,233 SF +61,151 SF = 125,384 SF

NOTE: BUILDING "A" AND PARKING STRUCTURE (ROOF DECK) ARE UNDER SEPARATE PERMIT.

OPEN SPACE AREA CALCULATION

OPEN SPACE LEGEND

Sheet Issue & Revision Log
Sheet Date 12/14/2022



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OPEN SPACE EXHIBIT